

Your Reference:

Our Reference: KH: RR: mw: 20-21 (FID5949, COM002-1415, 02257-10000-999, OM004930, ID1585424, ID1585426, ID1585429, ID1585432, ID1585434)

Contact: enquiries@banana.qld.gov.au

02 March 2021

Biloela Square Pty Ltd
C/- Urbis Pty Ltd

Level 32, 300 George Street
BRISBANE QLD 4000

Dear Sir/Madam

Notice about request to change development approval
(Given under section 83 of the Planning Act 2016)

Application Number: COM002-14/15
Description: Preliminary Approval for Material Change of Use (s.242 seeking to vary the effect of a local planning instrument) for the 'Biloela Shopping World Development Code', Material Change of Use for Retail/Commercial Complex (incorporating Commercial Premises, Shop, Showroom and Food Premises) and Food Premises (McDonald's Family Restaurant), Reconfiguring a Lot (5 into 2 lots and new road), and Operational Works (Advertising Sign)
Level of Assessment: Code & Impact Assessable
Site Address: 2 Gladstone Road, Biloela
34 Kariboe Street, Biloela
Lot & Plan Details: Lot 30 on SP293577, Lot 1 on SP301589, Lot 53 on SP126772 (Formerly 211SP119237, 30SP122571, 2SP121353, 30CP894250, 53SP126772)

Reference is made to your correspondence received by Council on 16 October 2020 requesting to change (Minor change) development approval COM002-14/15, decided on 09 December 2015 and issued by Decision Notice dated 16 December 2015.

Your request has been assessed and **approved** on 24 February 2021 (OM004930) to the extent detailed below:

Section 1 – Preliminary Approval under section 241 and 242 of the Sustainable Planning Act 2009 – Material Change of Use – COM002-14/15

- Amend Condition 1
- Delete Condition 2
- Delete Condition 3
- Amend Condition 4
- Delete Condition 5
- Delete Condition 6
- Delete Condition 8
- Delete Condition 9
- Delete Condition 11
- Delete Condition 12

Section 2 – Development Permit – Reconfiguring a Lot (5 Lots into 2 and New Road and Road Dedication) – COM002-14/15

- Amend Condition 1
- Delete Condition 7
- Delete Condition 8
- Delete Condition 9
- Delete Condition 13
- Delete Condition 14
- Delete Condition 15
- Delete Condition 16
- Delete Condition 17
- Delete Condition 18
- Amend Condition 19
- Delete Condition 20
- Delete Condition 23
- Amend Condition 24
- Amend Condition 26
- Delete Condition 27
- Delete Condition 28
- Delete Condition 29
- Delete Condition 33
- Delete Condition 34
- Delete Condition 35
- Delete Condition 43

Section 3 – Development Permit – Material Change of Use (Shopping Centre) – COM002-14/15

- Amend Condition 1
- Delete Condition 7
- Amend Condition 8
- Amend Condition 9
- Delete Condition 10
- Delete Condition 11
- Delete Condition 12
- Delete Condition 41
- Delete Condition 43
- Delete Condition 44
- Amend Condition 45
- Delete Condition 50
- Amend Condition 51
- Delete Condition 54
- Delete Condition 55
- Delete Condition 56
- Amend Condition 57
- Amend Condition 71
- Amend Condition 77
- Delete Condition 80
- Amend Condition 81
- Amend Condition 82
- Amend Condition 83
- Delete Condition 84
- Amend Condition 85
- Delete Condition 86
- Amend Condition 90
- Delete Condition 91
- Amend Condition 93
- Amend Condition 98
- Amend Condition 101
- Amend Condition 104

Section 4 – Development Permit – Operational Works (Advertising Signage) –
COM002-14/15

- Delete Condition 1
- Delete Condition 2
- Delete Condition 3
- Delete Condition 4
- Delete Condition 5
- Delete Condition 6
- Delete Condition 7
- Delete Condition 8
- Delete Condition 9
- Delete Condition 10
- Delete Condition 11
- Delete Condition 12

Attached is a copy of the original decision notice showing the approved changes.

Should you require further assistance in relation to this matter, please do not hesitate to contact Council's Development Services section on (07) 4992 9500, quoting you application number of COM002-14/15.

Yours Sincerely



Dr Keith Halford

MANAGER ENVIRONMENT & PLANNING

Enc Attachment 1 – Appeal Rights
Attachment 2 – Ergon Energy Advice
Attachment 3 – Decision notice showing the changes

CC All Referral Agencies (both advice and concurrence)

State Assessment and Referral Agency (SARA)
rockhamptonSARA@dilgp.qld.gov.au

Ergon Energy
PO Box 1090
TOWNSVILLE QLD 4810

Attachment 1

Planning Act 2016 Extract on Appeal Rights

Part 1 Appeal rights

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the appellant); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The appeal period is—
 - (a) For an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) For an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person. Note— See the P&E Court Act for the court's power to extend the appeal period.
- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) The cost of infrastructure decided using the method included in the local government's charges resolution.

Attachment 2
Ergon Energy Advice



420 Flinders Street, Townsville QLD 4810
PO Box 1090, Townsville QLD 4810
ergon.com.au

11 February 2021

Banana Shire Council
PO Box 412
Biloela QLD 4715

Via email: enquiries@banana.qld.gov.au

Cc Biloela Square Pty Ltd
C/- Urbis Pty Ltd
Level 32, 300 George Street
Brisbane QLD 4000
Attention: Esther Leung
Via email: eleung@urbis.com.au

Dear Sir/Madam,

Affected Entity Response Notice – Change Application for a Minor Change to Development Approval COM002-14/15 at 2-16 Gladstone Road, Biloela (Lot 30 on SP293577 and Lot 1 on SP301589)

Council Ref: COM002-14/15
Applicant Ref: N/A
Our Ref: HBD 7168904

We refer to the abovementioned Change Application, notice of which has been given to Ergon Energy pursuant to section 80 of the *Planning Act 2016*.

As an affected entity for the Change Application, Ergon advises that it has no objection to the changes proposed.

The following application material has been assessed by Ergon and forms the basis of our advice. Any changes to these plans and reports may require an amended response notice.

Application Material Assessed			
Title	Reference	Issue	Date
Application to Change a Development Approval (incl. subsequent Application correspondence), prepared by Urbis	-	-	16 October 2020

Have you seen our fact sheets?

See the 'considerations when developing around electricity infrastructure' section of our website www.ergon.com.au/referralagency

Application Material Assessed			
Title	Reference	Issue	Date
Proposed Site Plan – Stage 01 & Stage 02	DA-1001	6	21 January 2021
Development Staging Plan	DA-9100	2	16 November 2021

The Applicant is advised that the conditions of any easements in favour of Ergon must be maintained at all times.

Should you require further information regarding this matter, please contact the undersigned on 0455 403 399 or townplanning@ergon.com.au.

Yours faithfully,



Benjamin Freese
Town Planner

Have you seen our fact sheets?

See the 'considerations when developing around electricity infrastructure' section of our website www.ergon.com.au/referralagency

Attachment 3
Original Decision Notice showing changes

Your Reference:

Our Reference: HM: ak: 15-12 (FID:5949, COM002-14/15, 02257-10000-999, OM003304, 1689283)

Contact: Hamish McIntosh

16 December 2015

Biloela Square Pty Ltd
C/- Urbis Pty Ltd
Level 7, 123 Albert Street
BRISBANE QLD 4000

Dear Kris

(AMENDED 24 February 2021) Development Application Number - COM002-14/15 Decision Notice Approval - Code & Impact Assessable - Preliminary Approval for Material Change of Use (s.242 seeking to vary the effect of a local planning instrument) for the 'Biloela Shoppingworld Development Code'), Material Change of Use for Retail/Commerical Complex (incorporating Commercial Premises, Shop, Showroom and Food Premises) and Food Premises (McDonald's Family Restaurant), Reconfiguring a Lot (5 into 2 Lots and New Road), and Operational Works (Advertising Devices) Sustainable Planning Act 2009 section 334 and 335

Applicant's Name	Biloela Square Pty Ltd C/- Urbis Pty Ltd
Applicant's Address	Level 7, 123 Albert Street, BRISBANE QLD 4000
Site Address	2 Gladstone Road & 34 Kariboe Street, BILOELA QLD 4715
Lot and Plan Details	Lot 211 on SP119237, Lot 30 on SP122571, Lot 2 on SP121353, Lot 30 on CP894250 & Lot 53 on SP126772
Contact Number/s	07 3007 3800

On 9 December 2015, at Council's Ordinary Meeting, the above development application was approved subject to conditions. The conditions of this approval are set out in Attachment 1. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them.

1. Details of the approval

The following approvals are given:

	Sustainable Planning Regulation 2009, schedule 3 reference	Development Permit	Preliminary Approval
Material change of Use - Preliminary approval varying the effect of the local Planning instrument under s242 - for "Biloela Shopping World Development Code"			<input checked="" type="checkbox"/>
Making a material change of use assessable under the planning scheme.		<input checked="" type="checkbox"/>	
Reconfiguring a lot.	Part 1, table 3, item 1	<input checked="" type="checkbox"/>	
Operational Works assessable under the planning scheme, a master plan or a preliminary approval to which section 242 applies		<input checked="" type="checkbox"/>	

2. Preliminary approval affecting the planning scheme

A preliminary approval to which section 242 of the *Sustainable Planning Act 2009* applies is given and the assessment manager has approved a variation to the Banana Shire Planning Scheme, 2005. The preliminary approval overrides the Banana Shire Planning Scheme 2005, to the extent detailed below (the variation):

- i. The land to which the preliminary approval relates;
- ii. The development approved by the preliminary approval;
- iii. The way in which the preliminary approval varies the effect of the *Planning Scheme*; and
- iv. The levels of assessment for development; and
- v. The Development Code, which applies to particular types of development.

The relevant level of assessment table and assessment criteria are identified in the approval and conditions.

3. Approval under section 331

This application has not been deemed to be approved under section 331 of the *Sustainable Planning Act 2009*.

4. Other necessary development permits and/or compliance permits

Listed below are other development permits and/or compliance permits that are necessary to allow the development to be carried out:

- Operational Works
- Building Works
- Plumbing & Drainage
- Compliance Permit

5. Codes for self-assessable development

The following codes must be complied with for self-assessable development related to the development approved.

Not applicable

6. Details of any compliance assessment required for documents or work in relation to the development – section 393

Compliance assessment is required under the *Sustainable Planning Act 2009* for the following documents or works in relation to the development.

Document or works requiring compliance assessment	Matters or things against which the document or work must be assessed	Compliance assessor	When the request for compliance assessment must be made
Making a material change of use of premises if - a) all or part of the premises are on the contaminated land register or the environmental management register; and b) the premises are not being used for a sensitive land use; and c) the material change of use is completely or partly for -	The guideline that is part D of the document called 'Queensland auditor handbook for contaminated land module 5: Contaminated land investigation documents, auditor certification and compliance assessment' made by the chief executive of the department administering the Environmental Protection Act and published on that department's website.	An individual approved as an auditor under the Environmental Protection Act, chapter 12, part 3A, division 2.	A copy of a compliance permit issued for the material change of use must be given to the department in which the Environmental Protection Act is administered.
(i) a sensitive land use; or (ii) a commercial purpose involving an accessible underground facility, including, for example, a basement car park, workshop or office.			

7. Submissions

There **were** properly made submissions about the application.

The name and address of the principal submitter for each properly made submission are as follows:

Name of Principal Submitters	Address
Mrs Barimis C/- Luke Comino Solicitors	PO Box 2155, TINGALPA QLD 4173
Naomi Bath - Biloela Discount Chemist	PO Box 727, BILOELA QLD 4715
Michael Bonano - Callide Manufacturing Company	Po Box 92, BILOELA QLD 4715
Andrew Brosnan (Principal submitter)	34 Kariboe Street, BILOELA QLD 4715
Dale Brosnan - Bettafield Piggery	PO Box 386, BILOELA QLD 4715
William R Burgher	32 Archer Street, BILOELA QLD 4715
Stephen Francis - Concrete Tank Fabrication	21-25 Burnett Highway, BILOELA QLD 4715
John Fraser - BP Australia	GPO Box 5222, MELBOURNE VIC 3000
Wayne Geall	PO Box 557, BILOELA QLD 4715
Pauline Horrocks - Nevertire Earth Moving	MS 1396, BILOELA QLD 4715
Giuseppe Mazzacuva	13 Cooper Street, BILOELA QLD 4715
Peter Mazzer - Mazzer Holdings Pty Ltd	PO Box 293, BILOELA QLD 4715
Wayne Newton - Agforce	Po Box 13186, North Bank BRISBANE QLD 4003
Annie Page	15 kariboe Street, BILOELA QLD 4715
Nicki Radke	147 Austine Street, THANGOOL QLD 4715
Anna Rich	138a Rainbow Street, BILOELA QLD 4715
Neil Rideout	PO Box 188, BILOELA QLD 4715
Lisa Sauer - Sundown Window Tinting	19 Burnett Street, BILOELA QLD 4715
Wayne Sauer - Sundown Window Tinting	19 Burnett Street, BILOELA QLD 4715
Jeff Schultz - Callide Dawson Funerals & Cockatoo Coaches	56 Callide Street, BILOELA QLD 4715
Ivan & Glennis Shepherdson	PO Box 257, BILOELA QLD 4715
JC Stephanoff	PO Box 42, BILOELA QLD 4715
Asimina Tsardanis	32 Ensign Street, CARINDALE QLD 4152
Sandra West	17 Kariboe Street, BILOELA QLD 4715
Damien White - Regal Seed and Grain Pty Ltd	PO Box 328, BILOELA QLD 4715
Anthony Williams - Biloela Auto Electrics	13 Burnett Highway, BILOELA QLD 4715
Jeffrey Wright	50 Bell Street, BILOELA QLD 4715
Nicki Wright	50 Bell Street, BILOELA QLD 4715

8. Conflict with relevant instrument and reasons for the decision despite the conflict.

The assessment manager does not consider that the assessment manager's decision conflicts with a relevant instrument.

9. Referral agencies

The referral agencies for this application are:

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
Schedule 7, Table 3, Item 1 - Making a material change of use of premises if any part of the land - (a) is within 25m of a State-controlled road; or (b) is future State-controlled road; or (c) abuts a road that intersects with a State-controlled road within 100m of the land	Chief Executive - Department of State Development, Infrastructure and Planning (DSDIP) - State Assessment Referral Agency (SARA)	Concurrence	RockhamptonSARA@ dsdip.qld.gov.au Fitzroy & Central Region PO Box 113 ROCKHAMPTON QLD 4701
Schedule 7, Table 2, Item 2 - Reconfiguring a lot if - (a) any part of the land - (i) is within 25m of a State-controlled road; or (ii) is future State-controlled road; or (iii) abuts a road that intersects with a State-controlled road that is within 100m of the land; and (b) 1 or more of the following apply - (i) the total number of lots is increased; (ii) the total number of lots abutting the State-controlled road is increased; (iii) there is a new or changed access between the land and the State-controlled road	Chief Executive - Department of State Development, Infrastructure and Planning (DSDIP) - State Assessment Referral Agency (SARA)	Concurrence	RockhamptonSARA@ dsdip.qld.gov.au Fitzroy & Central Region PO Box 113 ROCKHAMPTON QLD 4701

<p>Schedule 7, Table 3, Item 2 - An aspect of development identified in schedule 9 that - (a) is for a purpose mentioned in schedule 9, column 1; and (b) meets or exceeds the threshold - (i) for development in LGA population 1 - mentioned in schedule 9, column 2 for the purpose; or (ii) for development in LGA population 2 - mentioned in schedule 9, column 3 for the purpose.</p>	<p>Chief Executive - Department of State Development, Infrastructure and Planning (DSDIP) - State Assessment Referral Agency (SARA)</p>	<p>Concurrence</p>	<p>RockhamptonSARA@dsdip.qld.gov.au Fitzroy & Central Region PO Box 113 ROCKHAMPTON QLD 4701</p>
<p>However, if the development is for a combination of purposes mentioned in the same item of schedule 9, the threshold is for the combination of purposes and not for each purpose individually.</p>			
<p>Schedule 7, Table 2, Item 15A A material change of use of premises if any part of the land is - (a) within 25m of a railway or future railway land; or (b) future railway land</p>	<p>Chief Executive - Department of State Development, Infrastructure and Planning (DSDIP) - State Assessment Referral Agency (SARA)</p>	<p>Concurrence</p>	<p>RockhamptonSARA@dsdip.qld.gov.au Fitzroy & Central Region PO Box 113 ROCKHAMPTON QLD 4701</p>

10. Approved plans

The approved plans and/or documents for this development approval are listed in the following table:

Plan/Document number	Plan/Document name	Date
Section 1 - Preliminary Approval under section 241 and 242 of the Sustainable Planning Act 2009 - Material Change of Use - COM002-14/15		
(Amended 24 February 2021)		
140926-BA1398	Biloela Shoppingworld Development Code - Preliminary Approval	Not Dated
P0003578	Biloela Shoppingworld Development Code - Updated 2020	12 October 2020
(Amended 24 February 2021)		
BA1398 - M_01_v2	Map One - Development Plan Area	21 August 2012
DP-01	Development Plan Area	5 October 2020
(Amended 24 February 2021)		
BA1398 - M_02_v2	Map Two - Precinct Map	21 August 2012
PM-01	Precinct Map	05 October 2020
BA1398 - PP_03_v2	Biloela Shoppingworld Reconfiguration of a Lot	21 August 2012
(Deleted 24 February 2021)		
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015
Section 2 - Development Permit - Reconfiguring a Lot (5 Lots into 2 and New Road and Road Dedication) - COM002-14/15		
BA1398 - PP_03_v2	Biloela Shoppingworld Reconfiguration of a Lot	21 August 2012
(Deleted 24 February 2021)		
Project_No 7142, Sheet_No ST01, ST05, Revision P1	Staging Plan	10-03-15
(Deleted 24 February 2021)		
Project_No 7142, Sheet_No DA11, Revision 1	Proposed Tourist Facilities	July 2012
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015
Section 3 - Development Permit - Material Change of Use (Shopping Centre) - COM002-14/15		
(Deleted 24 February 2021)		
BA1398 - PP_03_v2	Biloela Shoppingworld Reconfiguration of a Lot	21 August 2012

<p>(Amended 24 February 2021) Project_No. 7142, Sheet_No. DA02 & DA03, Revision 2</p> <p>Project No. 16311, Sheet DA-1001, Issue 6</p>	<p>Proposed Site Plan</p> <p>Proposed Site Plan</p>	<p>09-12-2014</p> <p>2021.01.21</p>
<p>(Amended 24 February 2021) Project_No. 7142, Sheet_No. DA03, Revision 2</p> <p>Project No.16311, Sheet DA-1002, Issue 1</p>	<p>Proposed Basement Plan</p>	<p>09-12-2014</p> <p>2020.10.16</p>
<p>(Amended 24 February 2021) Project_No. 7142, Sheet_No. DA05 & DA06, Revision 1</p> <p>Project No. 16311, Sheet DA-2001 & Sheet DA-2002, Issue 1</p>	<p>Elevations</p> <p>Proposed Elevations</p>	<p>01-10-2014</p> <p>2020.10.16</p>
<p>(Amended 24 February 2021) Project_No. 7142, Sheet_No. DA07, Revision 1</p> <p>Project No. 16311, Sheet DA-3001, Issue 1</p>	<p>Sections</p>	<p>01-10-2014</p> <p>2020.10.16</p>
<p>(Amended 24 February 2021) Project_No. 7142, Sheet_No. DA08, Revision 1</p> <p>Project No. 16311, Sheet DA-6000, Issue 1</p>	<p>Details</p>	<p>01-10-2014</p> <p>2020.10.16</p>

(Amended 24 February 2021)		
Project_No. 7142, Sheet_No. ST01 ST05, Revision P1	Staging Plans (Stages 1 to 4)	10-03-15
Project No. 16311, Sheet DA-9001, Issue 2	Development Staging Plans	2020.11.16
(Amended 24 February 2021)		
Project No: BA1398, Drawing No: LP01 to LP03, Revision D	Proposed Landscape Concept Plan; Proposed Landscape Elevations & Plant Species and Plant Palette	29-08-2012
	Biloela Shoppingworld Landscape Report; Landscape Design Intent, Landscape Elevations, Plant Species	19 Jan 2021
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA11, Revision 1	Proposed Tourist Facilities	July 2012
(Deleted 24 February 2021)		
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015
Section 4 - Development Permit - Operational Works (Advertising Signage) - COM002-14/15		
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA02 & DA03, Revision 2	Proposed Site Plan	09-12-2014
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA03, Revision 2	Proposed Basement Plan	09-12-2014
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA05 & DA06, Revision 1	Elevations	01-10-2014
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA07, Revision 1	Sections	01-10-2014
(Deleted 24 February 2021)		
Project_No. 7142, Sheet_No. DA08, Revision 1	Details	01-10-2014

11. When approval lapses if development not started

This development approval will lapse pursuant to the *Sustainable Planning Act 2009* and any condition attached to this notice, unless otherwise approved by Council.

12. Appeal rights

Appeals by applicants

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal, or refusal in part of the development application;
- any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242 of SPA;
- the decision to give a preliminary approval when a development permit was applied for;
- the length of a period mentioned in section 341; and
- a deemed refusal of the development application.

The timeframes for starting an appeal in the Planning and Environment Court are set out in section 461(2) of SPA.

Appeals by submitters

A submitter for a development application may appeal to the Planning and Environment Court against:

- the part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment
- the part of the approval relating to the assessment manager's decision under section 327.

Details about submitter appeal rights for the Planning and Environment Court are set out in sections 462, 463 and 464 of SPA.

Applicants may also have a right to appeal to the Building and Development Dispute Resolution Committee. For more details, see SPA, chapter 7, part 2.

Attachment 2 is an extract from SPA which details the applicant's appeal rights and the appeal rights of any submitters regarding this decision.

Should you require further assistance in relation to this matter, please do not hesitate to contact Council's Development and Environmental Services on (07) 4992 9500.

Yours sincerely



Dr Keith Halford
MANGER ENVIRONMENT & PLANNING

Attachment 1 – Part A - Conditions imposed by the Assessment Manager
Attachment 1 – Part B - Assessment Manager Notes
**Attachment 1 – Part C - Conditions imposed by the Department of State
Development, Infrastructure and Planning (DSDIP)**
Attachment 2 – Sustainable Planning Act 2009 Extract on Appeal Rights
Attachment 3 – Approved Drawings
Attachment 4 – Infrastructure Charges Notice
Attachment 5 – Environmental Obligations

CC RockhamptonSARA@dilgp.qld.gov.au

Attachment 1
COM002-14/15 Conditions of Approval
Part A - Conditions imposed by the Assessment Manager

Attachment 1

COM002-14/15 Conditions of Approval

Part A - Conditions imposed by the Assessment Manager

Section 1 – Preliminary Approval under section 241 and 242 of the Sustainable Planning Act 2009 – Material Change of Use – COM002-1415

General

- 1 (Amended 24 February 2021) Development authorised by this approval must be undertaken in accordance with the following approved plans, as attached to this Decision Notice, except where modified by the conditions contained in Attachment 1, Section 1 of this Development Approval –

Plan/Document number	Plan/Document name	Date
140926-BA1398	Biloela Shoppingworld Development Code – Preliminary Approval	Not Dated
P0003578	Biloela Shoppingworld Development Code – Updated 2020	12 October 2020
PLAN REF: BA1398 – M_01_v2	Map One – Development Plan Area	21 August 2012
DP-01	Development Plan Area	5 October 2020
PLAN REF: BA1398 – M_02_v2	Map Two – Precinct Map	21 August 2012
PM-01	Precinct Map	05 October 2020
PLAN REF: BA1398 – PP_03_v2	Biloela Shoppingworld – Reconfiguration of a Lot	21 August 2012
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015

- 2 ~~(Deleted 24 February 2021) The approved plans and Biloela Shoppingworld Development Code – Preliminary Approval must be amended to incorporate the amendments detailed within Attachment 1, Section 1 of this Development Approval prior to the submission of the Subdivision Plan for compliance assessment for the Reconfiguring a Lot shown on PLAN REF: BA1398 – PP_03_v2, Biloela Shoppingworld – Reconfiguration of a Lot and dated 21 August 2012, and as detailed within this Decision Notice.~~
- 3 ~~(Deleted 24 February 2021) This preliminary approval can only proceed following the creation of the lots and completion of all associated works approved by the Development Approval for Reconfiguring a Lot shown on PLAN REF: BA1398 – PP_03_v2, Biloela Shoppingworld~~

~~Reconfiguration of a Lot and dated 21 August 2012, and as detailed within Attachment 1, Section 2 of this Development Approval.~~

- 4 (Amended 24 February 2021) The preliminary approval overrides the Banana Shire Planning Scheme 2005 ~~in accordance with section 242 of the Sustainable Planning Act 2009~~, to the extent detailed in Plan Ref: 140926-BA1398 P0003578, Biloela Shoppingworld Development Code — ~~Preliminary Approval, Not Dated Updated 2020. as modified by the conditions contained in Attachment 1, Section 1 of this Development Approval.~~
- 5 (Deleted 24 February 2021) ~~The preliminary approval area is the area shown on PLAN REF: BA1398 - M_01_v2, Map One — Development Plan Area and dated 21 August 2012, subject to amendments detailed in condition 8.~~
- 6 (Deleted 24 February 2021) ~~Comply with all of the conditions contained within Attachment 1, Section 1 of this Development Approval prior to the submission of the Subdivision Plan for compliance assessment, for the Reconfiguring a Lot shown on PLAN REF: BA1398 — PP_03_v2, Biloela Shoppingworld — Reconfiguration of a Lot and dated 21 August 2012, and as detailed within this Decision Notice.~~

Time Limitation

- 7 The preliminary approval is valid for a period not exceeding ten (10) years from the date the approval takes effect, unless otherwise extended.

Biloela Shoppingworld Development Code – Preliminary Approval

- 8 (Deleted 24 February 2021) ~~The ‘Biloela Shoppingworld Code is to be amended in accordance with the following:~~
 - a) ~~Amend the ‘Biloela Shoppingworld Code’ to refer to the Town Zone — Commercial Precinct to remove any doubt surrounding the interpretation of the Tables of Assessment i.e. the Banana Shire Planning Scheme 2005 refers to development within the Town Zone — Commercial Precinct.~~
 - b) ~~Amend Map One (Development Code Area) and Map Two (Precinct Map) to Remove the Barrett Street Road reserve shown on PLAN REF: BA1398 — PP_03_v2, Biloela Shoppingworld — Reconfiguration of a Lot and dated 21 August 2012.~~
 - c) ~~Amend Section 1.6 — Time Limit to 10 years rather than 20 years.~~
 - d) ~~Amend section 2.3 — Levels of Assessment to refer to Tables 4.4.1 (1) and 4.4.1 (2) rather than Table 4.1.1 (1) and 4.1.1 (2).~~
 - e) ~~Amend section 2.4 — Assessment Criteria to refer to Table 4.4.1 (1) rather than Table 4.1.1 (1).~~

- 9 ~~(Deleted 24 February 2021) The amended 'Biloela Shoppingworld Code' is to be submitted to Council for approval and comment prior to the submission of the Subdivision Plan for compliance assessment for the Reconfiguring a Lot shown on PLAN REF: BA1398 – PP_03_v2, Biloela Shoppingworld – Reconfiguration of a Lot and dated 21 August 2012 as detailed within Attachment 1, Section 2 of this Development Approval.~~
- 10 The amended 'Biloela Shoppingworld Code' approved under condition 8 will form part of the approval and development must be undertaken generally in accordance with the Council approved amended 'Biloela Shoppingworld Code'.

Infrastructure Charges

- 11 ~~(Deleted 24 February 2021) Infrastructure charges associated with the preliminary approval must be paid in full to the Banana Shire Council. An adopted infrastructure charges notice is attached to this Decision Notice~~
- 12 ~~(Deleted 24 February 2021) Infrastructure charges may apply to future Development Permits issued pursuant to this preliminary approval in accordance with the relevant legislation applicable at the time of granting subsequent Development Permits.~~

Section 2 – Development Permit – Reconfiguring a Lot (5 Lots into 2 and New Road and Road Dedication) – COM002-1415

Approved Plans

- 1 **(Amended 24 February 2021)** The reconfiguration of land authorised under this Development Permit is to be completed and carried out generally in accordance with the following approved plans, except where modified by the conditions contained in Attachment 1, Section 2 of this Development Approval

Plan/Document number	Plan/Document name	Date
PLAN REF: BA1398 – PP_03_v2	Biloela Shoppingworld – Reconfiguration of a Lot	21 August 2012
Project_No 7142, Sheet_No ST01 – ST05, Revision P1	Staging Plan	10-03-15
Project_No. 7142, Sheet_No. DA11, Revision 1	Proposed Tourist Facilities	July 2012
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015

General

- 2 Comply with all of the conditions contained in Attachment 1, Section 2 of this Development Approval prior to the submission of the Subdivision Plan for compliance assessment, unless otherwise stated.
- 3 All works required by the conditions contained in Attachment 1, Section 2 of this Development Approval are to be completed prior to the submission of the Subdivision Plan for compliance assessment, unless otherwise stated.
- 4 Complete all associated works, including any relocation or installation of services, at no cost to Council.
- 5 At the time of submitting the Subdivision Plan for compliance assessment, provide a report demonstrating compliance with all conditions contained in Attachment 1, Section 2 of this Development Approval.
- 6 Easement and road and land dedication documents including all relevant forms and consents are to be prepared prior to submitting the Subdivision Plan for compliance assessment.

Staging

- 7 ~~(Deleted 24 February 2021) Amended Staging Plans generally in accordance with Plan Ref: Project_No 7142, Sheet_No ST01 – ST05, Revision P1, Staging Plan, and dated 10-03-2015, are to be submitted to Council for approval and must include reference to the following in addition to existing stages shown on the plan:~~

- ~~a) Subdivision works and lodgement of subdivision plans for compliance assessment;~~
- ~~b) Relocation and development of the new Tourist Information Centre and RV Parking Area including caravan water and dump point, ten (10) caravan parking spaces, a minimum of fourteen (14) car parking spaces suitable for staff and single vehicles, accesses and internal manoeuvring areas, landscaping and five (5) covered picnic tables;~~
- ~~c) Relocation of the two (2) Barimis Memorial structures;~~
- ~~d) Relocation of the existing services located within Callide Street (proposed for closure), Lot 30 on CP894250 and Lot 211 on SP119237; and,~~
- ~~e) Traffic management and road works including temporary traffic control and car parking associated with the Callide Street Road Closure.~~

~~The amended Staging Plans are to include a detailed description of each stage including the works and construction activities required at each stage.~~

~~*Note: Proposed staging should account for land dedication and transfer processes through the relevant State government departments.*~~

- ~~8 (Deleted 24 February 2021) The development is to be staged and carried out generally in accordance with the Council approved Amended Staging Plans.~~
- ~~9 (Deleted 24 February 2021) Construction works associated with each stage may be carried out concurrently subject to written approval from Council.~~

Easements

- 10** Provide easements, as per the requirements of the Capricorn Municipal Development Guidelines (CMDG), over the full alignment of all infrastructure including underground water, sewerage and stormwater infrastructure within the proposed lots.
- 11** Easement dimensions and terms are to be in accordance with the Banana Shire Planning Scheme 2005, Capricorn Municipal Development Guidelines (CMDG) or the requirements of Council or the relevant entity, where not otherwise specified.
- 12** All easements must be shown on the Subdivision Plan, prepared and registered at no cost to Council.

Tourist Information Centre and Improvements

- 13 ~~(Deleted 24 February 2021) Prior to the submission of the Subdivision Plan for Future Lot 1 and Future Lot 2 shown on Plan Ref: BA1398-PP_03_v2, Reconfiguration of a Lot Plan (Proposed) and dated 21 August 2012 for compliance assessment:~~
- ~~a) Submit to Council for approval a detailed scope or works and design and construction documentation / plans for the Proposed Tourist Facilities site shown on Plan Ref: Project_No. 7142, Sheet_No. DA11, Revision 1, Proposed Tourist Facilities and dated July 2012, having regard to:
 - ~~i) The Agreement between McConaghy Group, Biloela Promotion Bureau Inc and Council for the relocation of the Biloela Visitor Information Centre;~~
 - ~~ii) State Controlled Road corridor resumptions proposed or completed for the site;~~
 - ~~iii) the conditions contained within Attachment 1, Section 2 and 3 of this Development Approval and,~~
 - ~~iv) Relevant statutory approvals and consent processes.~~~~
 - ~~b) Construct the Proposed Tourist Facilities including the including the Tourist Information centre, caravan water and dump point, ten (10) caravan parking spaces, a minimum of five (5) car parking spaces suitable for staff and single vehicles, accesses and internal manoeuvring areas, landscaping, and five (5) covered picnic tables in accordance with the Council approved scope or works and design and construction documentation / plans.~~

Barimis Memorial

- 14 ~~(Deleted 24 February 2021) Prior to the submission of the Subdivision Plan for Future Lot 1 and Future Lot 2 shown on Plan Ref: BA1398-PP_03_v2, Reconfiguration of a Lot Plan (Proposed) and dated 21 August 2012 (COM002-1415) for compliance assessment:~~
- ~~a) Obtain written approval from Council in relation to the proposed location, removal, relocation and restoration process for the two (2) Barimis Memorial structures located within Lot 30 on CP894250; and,~~
 - ~~b) Remove the two (2) Barimis Memorial structures; and,~~
 - ~~c) Relocate and erect to the Proposed Tourist Facilities site generally as shown on Plan Ref: Project_No. 7142, Sheet_No. DA11, Revision 1, Proposed Tourist Facilities and dated July 2012; and,~~
 - ~~d) Restore the two (2) Barimis Memorial structures (painting and signage restoration).~~

~~Note: The request for written agreement must be supported by appropriate details, plans and specification outlining the required work.~~

- 15 ~~(Deleted 24 February 2021) Any damage to the two (2) Barimis Memorial structures during the removal or relocation process is to be reported to Council and rectified to the satisfaction of Council prior to the completion of the work.~~

Relocation of Existing Services

- 16 ~~(Deleted 24 February 2021) Prepare and submit to Council for approval, a detailed engineering report and associated plans and specifications detailing the works required to relocate all existing services including but not limited to water, sewerage and stormwater infrastructure, telecommunications and electricity infrastructure from Callide Street along the frontage of the existing shopping centre site (i.e. from the Dawson Highway to Barrett Street), Lot 30 on CP894250 and Lot 211 on SP119237.~~
- 17 ~~(Deleted 24 February 2021) Undertake all works required to relocate the existing services within Callide Street, Lot 30 on CP894250 and Lot 211 on SP119237 in accordance with the Council approved engineering report and associated plans and specifications and an Operational Works Permit for the works.~~
- 18 ~~(Deleted 24 February 2021) The road closure of Callide Street along the frontage of the existing shopping centre site (i.e. from the Dawson Highway to Barrett Street) must not occur prior to the relocation of the existing services within Callide Street, Lot 30 on CP894250 and Lot 211 on SP119237.~~

Road works

- 19 ~~(Amended 24 February 2021) Dedicate as road (at no cost to Council) the area generally shown on Plan Ref: BA1398 - PP_03_v2, Reconfiguration of a Lot Plan (Proposed) and dated 21 August 2012 as New Road (Barrett Street Extension).~~
- 20 ~~(Deleted 24 February 2021) Design and construct the following road works in accordance with the conditions of this Development Approval, the Banana Shire Planning Scheme 2005, the Capricorn Municipal Development Guidelines (CMDG) and an Operational Works Permit for the works:~~
- ~~a) Road works and upgrades to Callide Street including but not limited to:
 - ~~i) Road widening;~~
 - ~~ii) Line marking and traffic signage;~~
 - ~~iii) kerb and channelling (excluding proposed access driveways) and associated road drainage infrastructure for the frontage of Future Lot 2 from Barrett Street to the intersection of Future Lot 2 with Prospect Street; and,~~
 - ~~iv) Pedestrian movement and protection works.~~~~

- b) ~~Road works for the Barrett Street Extension in accordance with the specifications for a Major Urban Collector and including:

 - i) ~~line marking and traffic signage;~~
 - ii) ~~kerb and channelling of the road edges;~~
 - iii) ~~pedestrian movement and protection works;~~
 - iv) ~~coloured threshold treatments; and,~~
 - v) ~~relocation or realignment of underground infrastructure within the proposed New Road.~~~~
 - c) ~~Road works for the Barrett Street / Callide Street intersection.~~
 - d) ~~Access and internal road works for the closed section of Callide Street including its intersection with Barrett Street and Gladstone Road.~~
 - e) ~~Road works conditioned by the State Assessment and Referral Agency as a Concurrence Agency including works to the proposed developments frontage to the Burnett Highway (i.e. intersection works, kerb and channelling, parking and widening).~~
- 21 Detailed plans and specifications of the required road works including traffic management plans and temporary traffic control arrangements are to be submitted to Council as part of an Operational Works application and must be approved prior to the commencement of any works.
- 22 The design and installation of all street warning, regulatory signage and street name plates is to be in accordance with the Manual of Uniform Traffic Control Devices and the requirements of the Capricorn Municipal Development Guidelines (CMDG).

Callide Street Road Closure

- 23 ~~(Deleted 24 February 2021) The road closure of Callide Street along the frontage of the existing shopping centre site (i.e. from the Dawson Highway to Barrett Street) must not occur prior to the construction of the Barrett Street Extension (area shown on Plan Ref: BA1398 PP_04_v3, Reconfiguration of a Lot Plan and dated 27 November 2012 as New Road) and the relocation or privatisation of the existing services located within the road reserve.~~
- 24 ~~(Amended 24 February 2021) Maintain vehicle access between Barrett Street and Gladstone Road / Dawson Highway (i.e. former Callide Street road reserve) up and until the commencement of any works associated with Stage 3b (Construction of on-grade car parking). Interim traffic control arrangements are to be designed and implemented to allow safe vehicle movements within the site including at the Barrett Street and intersection and Gladstone Road / Dawson Highway intersection. Details, plans and specifications of the proposed interim arrangements are to be submitted with the amended staging plans required under condition 7. stage 1 of approved plan DA-9100, Development Staging Plan 16311 issue 2 dated 2020.11.16.~~

Access

- 25 Vehicle accesses, from a local road, are to be provided to the site so as to service the proposed uses as per the following:
- a) All two-way vehicle crossovers are to be constructed to a commercial standard and consist of a full width concrete pavement a minimum 6.0m wide (so as to accommodate two-way vehicle movement) in accordance with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-R-042 or CMDG-R-043).
 - b) All one-way vehicle crossovers are to be constructed to a commercial standard and consist of a full width concrete pavement a minimum 3.0m wide in accordance with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-R-042 or CMDG-R-043).

Street Lighting

- 26 **(Amended 24 February 2021)** A Street lighting plan for the internal ~~and external road~~ network is to be provided to Council as part of the operational works application and is to be prepared by a suitably qualified engineer. Lighting standards are to be in accordance with Ergon's requirements and Australian Standard AS/NZS 1158 and the requirements of the Capricorn Municipal Development Guidelines (CMDG).

Pedestrian Infrastructure

- 27 ~~(Deleted 24 February 2021) Submit to Council for approval a detailed Pathway Infrastructure Plan detailing and addressing the following, as a minimum:~~
- ~~a) all proposed pathway infrastructure generally as shown on Plan Ref: Project No. 7142, Sheet No. DA11, Revision 1, Proposed Tourist Facilities and dated July 2012; and,~~
 - ~~b) pedestrian safety considerations, in particular, for the proposed Callide Street and Barrett Street pedestrian crossing.~~
- 28 ~~(Deleted 24 February 2021) Design and construct all pedestrian pathway infrastructure in accordance with the Council approved Pathway Infrastructure Plan and in accordance with the Capricorn Municipal Development Guidelines (CMDG). An Operational Works application for the pathway infrastructure is to be submitted to Council for approval before the commencement of construction.~~
- 29 ~~(Deleted 24 February 2021) Pathways are to comply with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-R-051) and a minimum two (2) metres wide, unless otherwise agreed by Council.~~

Water and Sewerage

- 30 Each Lot is to be connected to Council's reticulated water supply network in accordance with the Banana Shire Planning Scheme 2005 and Capricorn Municipal Development Guidelines (CMDG).
- 31 Each Lot is to be connected to Council's reticulated sewerage network in accordance with the Banana Shire Planning Scheme 2005 and Capricorn Municipal Development Guidelines (CMDG).
- 32 Where a connection does not exist or existing connection is not sufficient to service the development, a separate application shall be made to Council for a new connection or increase the size of the existing connection.
- 33 ~~(Deleted 24 February 2021) So as to ensure sufficient water pressure and flow for fire fighting purposes the existing 100mm diameter water main running along Kariboe Street (from Barrett Street to Gladstone Road) and along Gladstone Road (from Kariboe Street to connect with the proposed relocated water main) is to be upgraded to a minimum 150mm diameter pipe, subject to network analysis confirmation.~~
- 34 ~~(Deleted 24 February 2021) The proposed relocated water main proposed in services drawing 212102 CSK100 A is to comprise of a minimum 150mm diameter pipe subject to the results of the network analysis.~~
- 35 ~~(Deleted 24 February 2021) A new manhole is to be installed at the property boundary of the proposed amalgamated lot in all sewer lines (existing or proposed) entering the property and the subsequent sewer pipes, within the property boundaries, are to be removed or maintained, as private sewer, at no cost to Council by the property owner.~~
- 36 Plans of internal water supply and sewerage services detailing all proposed works are to be submitted for Council approval prior to construction of site works commencing.
- 37 Redundant services are to be removed by the applicant and inspected by Council's plumbing inspector or nominated representative prior to backfilling.
- 38 Any relocation of Council services must be approved by Council before the relocation of services commences. An Operational Works application is to be submitted to Council, for approval, for all relocation, upgrade, removal and/or installation of external services, before the commencement of works.
- 39 Where damage occurs to any Council asset as a result of the development works, the Applicant must be repair the damage immediately, at no cost to Council, where it creates a hazard that presents risk to person or property. Other damage must be repaired prior to completion of the works.
- 40 Install such systems that are necessary to supply sufficient fire fighting capacity to the satisfaction of Queensland Fire and Rescue Service and

Council, and where necessary install on-site systems to supplement the available supply and meet flow and pressure requirements.

Stormwater

- 41 The development must be provided with a stormwater drainage system designed and constructed in accordance with a Council approved Stormwater Management Plan, the Capricorn Municipal Development Guidelines (CMDG) and an Operational Works permit for the work.
- 42 The stormwater drainage system must be designed so that the development will not make material changes to the pre-development location, duration, frequency or concentration of overland stormwater flow at the point of discharge to all downstream properties including road reserves.
In the event that a material change to the pre-development stormwater flows will occur provide written evidence to Council's satisfaction of a legal right to discharge stormwater over the downstream land in the proposed method.
- 43 ~~(Deleted 24 February 2021) All necessary external works to facilitate the Stormwater Drainage system are to be completed at no cost to Council.~~

Filling and Excavation

- 44 All filling and excavation works are to be designed, constructed and carried out in accordance with the Banana Shire Planning Scheme 2005, Capricorn Municipal Development Guidelines (CMDG) and an Operational Works Permit for the works.
- 45 Details of the extent of filling and excavation are to be detailed within 'As Constructed' plans on completion of the works.

Erosion and Sediment Management

- 46 Detailed Erosion and Sediment Management Plan, and associated engineered drawings, is to be provided to Council as part of the operational works application. This Plan must comply with the Capricorn Municipal Development Guidelines (CMDG).
- 47 During construction and for the duration of the maintenance period undertake sedimentation and erosion control management in accordance with the approved Erosion and Sediment Management Plan.

Construction Activities

- 48 Adequate precautions are to be taken to ensure dust does not cause annoyance to adjacent sites or dwellings during construction on the site. This may mean the cessation of work during periods of adverse climatic conditions, or if directed by Council.
- 49 Traffic Management for the construction phase of the development is to be undertaken in accordance with a detailed Traffic Management Plan and Traffic

Guidance Scheme prepared by a suitably qualified and experienced person pursuant to the Manual of Uniform Traffic Control Devices (MUTCD).

- 50 The Traffic Management Plan and Traffic Guidance Scheme are to be submitted to Council for review within 40 days prior to the commencement of any works.
- 51 Construction work on the site must not commence on any day before 7.00am, or continue any such work after 6.00pm, except where approved by Council in writing.

Electricity and Telecommunications

- 52 Reticulated electricity and telecommunication services must be provided to each lot in accordance with the standards and requirements of the relevant service provider.
- 53 Certification must be submitted to Council from all relevant services providers as evidence that the development has met the required standards and the requirements of the service provider.

Infrastructure Charges

- 54 Infrastructure charges associated with the Reconfiguring a Lot application must be paid in full to the Banana Shire Council. An adopted infrastructure charges notice is attached to this Decision Notice

Section 3 – Development Permit – Material Change of Use (Shopping Centre) – COM002-1415

Approved Plans

- 1 (Amended 24 February 2021) The Material Change of Use (Shopping Centre) authorised under this Development Permit is to be completed and carried out generally in accordance with the following approved plans and reports submitted with the Development Application, except where modified by the conditions contained within Attachment 1, Section 3 of this Development Approval –

Plan/Document number	Plan/Document name	Date
PLAN REF: BA1398 PP_03_v2	Biloela Shoppingworld Reconfiguration of a Lot	21 August 2012
Project No. 7142, Sheet No. DA02 & DA03, Revision 2	Proposed Site Plan	09-12-2014
Project No. 16311, Sheet DA-1001, Issue 6	Proposed Site Plan	2021.01.21
Project No. 7142, Sheet No. DA03, Revision 2	Proposed Basement Plan	09-12-2014
Project No. 16311, Sheet DA-1002, Issue 1		2020.10.16
Project No. 7142, Sheet No. DA05 & DA06, Revision 1	Elevations	01-10-2014
Project No. 16311, Sheet DA-2001 & Sheet DA-2002, Issue 1	Proposed Elevations	2020.10.16
Project No. 7142, Sheet No. DA07, Revision 1	Sections	01-10-2014
Project No. 16311, Sheet DA-3001, Issue 1		2020.10.16

Plan/Document number	Plan/Document name	Date
Project_No. 7142, Sheet_No. DA08, Revision 4 Project No. 16311, Sheet DA-6000, Issue 1	Details	01-10-2014 2020.10.16
Project_No 7142, Sheet_No ST01 –ST05, Revision P4 Project No. 16311, Sheet DA-9001, Issue 2	Staging Plans (Stages 1 to 4) Development Staging Plans	10-03-15 2020.11.16
Project No: BA1398, Drawing No: LP01 to LP03, Revision D	Proposed Landscape Concept Plan; Proposed Landscape Elevations & Plant Species and Plant Palette Biloela Shoppingworld Landscape Report; Landscape Design Intent, Landscape Elevations, Plant Species	29-08-2012 19 Jan 2021
Project_No. 7142, Sheet_No. DA11, Revision 4	Proposed Tourist Facilities	July 2012
3234-PR88, Rev B	External Roadworks Shopping Centre	Sept 2015

General

- 2 The Material Change of Use can only proceed following the creation of the lots and completion of all associated works approved by the Development Approval for Reconfiguring a Lot shown on PLAN REF: BA1398 – PP_03_v2, Biloela Shoppingworld – Reconfiguration of a Lot and dated 21 August 2012, and as detailed within Attachment 1, Section 2 of this Development Approval.
- 3 Comply with all of the conditions of this Development Approval prior to the commencement of the use/s relevant to each Stage identified in the Council approved Amended Staging Plan, unless otherwise stated within Attachment

- 1, Section 3 of this Development Approval, and maintain compliance for the duration of the approved use.
- 4 Exercise the approval and complete all associated works, including any relocation or installation of services, at no cost to Council.
 - 5 Where any conflict exists between the Conditions of this Decision Notice and details shown on the Approved Plans, the Conditions prevail.
 - 6 Alterations to public utilities, mains and services made necessary in connection with any of the works arising from this approval including works to restore and reinstate all roads are to be completed at no cost to Council.

Staging

- 7 ~~(Deleted 24 February 2021) Amended Staging Plans generally in accordance with Plan Ref: Project_No 7142, Sheet_No ST01 – ST05, Revision P1, Staging Plan, and dated 10-03-2015, are to be submitted to Council for approval and must include reference to the following in addition to existing stages shown on the plan:~~
- ~~a) Subdivision works and lodgement of subdivision plans for compliance assessment;~~
 - ~~b) Relocation and development of the new Tourist Information Centre and RV Parking Area including caravan water and dump point, ten (10) caravan parking spaces, a minimum of fourteen (14) car parking spaces suitable for staff and single vehicles, accesses and internal manoeuvring areas, landscaping, and five (5) covered picnic tables;~~
 - ~~c) Relocation of the two (2) Barimis Memorial structures;~~
 - ~~d) Relocation of the existing services located within Callide Street (proposed for closure), Lot 30 on CP894250 and Lot 211 on SP119237; and,~~
 - ~~e) Traffic management and road works including temporary traffic control and car parking associated with the Callide Street Road Closure.~~

~~The amended Staging Plans are to include a detailed description of each stage including the works and construction activities required at each stage.~~

~~Note: Proposed staging should account for land dedication and transfer processes through the relevant State government departments.~~

- 8 (Amended 24 February 2021) The development is to be staged and carried out generally in accordance with the Council approved **Amended Staging Plans Development Staging Plan DA-9100, Project No. 16311, Issue 2, dated 2020.11.16.**

- 9 (Amended 24 February 2021) Construction works associated with each stage may be carried out in any order or concurrently subject to written approval from Council.

Barimis Memorial

- 10 ~~(Deleted 24 February 2021) Prior to the commencement of any works associated with Stage 2b (New Standalone McDonalds & On Grade Parking) shown on Plan Ref: Project_No. 7142, Sheet_No. ST02, Revision P1, Staging Plan – Stage 2 and dated 10-03-2015 submit to Council for approval; plans, details and specifications for a new memorial generally in accordance with Plan Ref: Project_No. 7142, Sheet_No. SK-20, Revision A, Themis Barimis Memorial, dated 16-10-2012, to recognise the Barimis Family.~~
- 11 ~~(Deleted 24 February 2021) Install the new memorial in accordance with the Council approved plans, details and specifications within 6 months of the commencement of the use associated with Stage 2b (New Standalone McDonalds & On Grade Parking).~~
- 12 ~~(Deleted 24 February 2021) Maintain the memorial by undertaking regular maintenance and cleaning, repairing damage to the memorial and maintaining landscaping and grounds in the vicinity of the memorial to ensure its exposure and presentation.~~

Approved Use

- 13 The approved use of the premises is for a 'Shopping Centre' consisting of the following uses defined under Part 2 – Division 1 of the Banana Shire Planning Scheme 2005 and as shown on the Approved Plans:
- a) Commercial Premises.
 - b) Shop.
 - c) Food Premises.
 - d) Retail / Commercial Complex.
 - e) Showroom.

Food premises

- 14 A Food Business License Application and detailed set of plans are to be submitted to Council's Environmental Health Section for approval prior to the commencement of any building works on the site. Plans that are required are a floor plan (1:50), sectional elevation drawings (1:50), hydraulic plans (1:50) and mechanical exhaust ventilation drawings.

Building

- 15 Buildings and structures associated with the approved use/s must not exceed twelve (12) metres in height above natural ground level, except for mechanical plant and screens (up to 14 metres) or approved Advertising Devices.
- 16 Buildings and structures associated with the approved use/s must be setback from all lot boundaries in accordance with the Approved Plans.

- 17 Awnings or structures that protrude from the allotment boundary into the reserve must not be constructed without consent or allocation from the relevant statutory authority (otherwise confined to within the allotment boundaries).
- 18 Awnings or structures projecting from the main building toward a road frontage must be designed and constructed to ensure the safety of pedestrians walking underneath; and
 - a) include tamper proof under awning lighting; and
 - b) must not project closer than 0.5 metres to the kerb line unless approved by Council.
- 19 Prior to the commencement of building work above ground level, submit to Council and obtain approval from Council for the details of building façade treatments where fronting public streets including external materials, colours and finishes.

Amenity

- 20 The premises are to be maintained in a safe and tidy manner at all times.
- 21 Loading and unloading of service vehicles (excluding buses) occurs only between the hours of:
 - a) 6:00am and 10:00pm seven days a week, subject to complying with the Council approved acoustic noise report.
- 22 The approved use/s is to be undertaken so that no undue disturbance is caused to neighbouring properties by virtue of bright lights, traffic, noise, dust or interference with television or radio (including internet) reception.
- 23 All necessary, reasonable and practical measures are to be employed to ensure that activities associated with the land use do not cause any unreasonable interference with the amenity of the surrounding area and provide an acceptable level of amenity for users of the site.

Noise

Acoustic Report

- 24 Prepare a detailed Acoustic Report identifying all potential noise sources and sound attenuation work required achieve the environmental values for the acoustic environment and acoustic quality objectives for sensitive receiving environments. The Acoustic Report must address and provide recommendations for sound attenuation for the following potential noise sources as a minimum:
 - a) all mechanical plant and equipment fitted to service the proposed use/s;

- b) all waste storage and refuse areas;
 - c) all loading docks and areas including the loading area adjacent to Kariboe Street and for uses labelled fast food on the approved plans;
 - d) substation on Kariboe Street; and,
 - e) the basement car park.
- 25** The Acoustic Report must:
- a) be prepared by a suitably qualified and experienced acoustic consultant;
 - b) clearly identify acoustic design and control measures to be adopted for potential noise sources;
 - c) provide recommendations based on criteria and environmental data relevant to the site and surrounding area;
 - d) be prepared in accordance with the relevant standards.
- 26** Submit the Acoustic Report to Council for approval within 40 days prior to the commencement of any works associated with Stage 2.
- 27** The recommendations of the Council approved Acoustic Report must be implemented including any recommended works and management measures prior to the commencement of the use at each Stage of the development.
- 28** Acoustic screening must:
- a) be provided to all areas where work could be conducted outside of the building, including loading areas and waste storage and refuse areas; and,
 - b) constructed using materials and finishes compatible with that used elsewhere in the development or aesthetically screened from any road frontage.
- 29** Acoustic objectives contained within the *Environmental Protection (Noise) Policy 2008* (or standard applicable at the time) are achieved and maintained for the ongoing operation of the approved use/s.
- 30** All mechanical plant and equipment (air-conditioning compressors, security doors and the like) must be attenuated and periodically serviced where required by the Council approved acoustic report and maintained to achieve continued compliance with the acoustic objectives contained within the *Environmental Protection (Noise) Policy 2008* (or standard applicable at the time).
- 31** The site is required to be appropriately drained so that water is not allowed to accumulate or pond in a manner that may allow mosquito breeding, as required under the Public Health Regulation 2005.

Lighting

- 32** After hours lighting is to be installed and maintained within in all publicly accessible areas of the development.
- 33** Internal roadway and pathway lighting for pedestrians must be provided as part of the development to ensure safety within the site, details of roadway and pathway lighting is to be provided with any future Operational Works application for each stage, as appropriate.
- 34** Ensure that technical parameters, design, installation, operation and maintenance of outdoor lighting:
 - a) complies with the requirements of AS 4282-1997 Control of the obtrusive effects of outdoor lighting; and
 - b) maintain a minimum of 20 lux at the footpath level.
- 35** Illumination emanating from premises does not exceed eight (8) lux measured at any point 1.5 metres outside the boundary of the site, at or above ground level.

Waste Management

- 36** On-site waste and the maintenance of waste management areas are to be managed in accordance with the Council approved Waste Management Plan.
- 37** Provide the following in accordance with the Environmental Protection (Waste Management) Regulation 2000:
 - a) approved refuse containers;
 - b) centralised screened refuse storage enclosure comprising an imperviously paved area provided with a hose cock and hose fitted with backflow prevention;
 - c) drainage designed to prevent stormwater entering Council's sewer;
 - d) of a sufficient size to accommodate all refuse containers;
 - e) aesthetically screened from any road frontage or adjoining property; and,
 - f) set back a minimum of two (2) metres from any road frontage or as recommended in the Acoustic Report.
- 38** The location and design of onsite waste management facilities are to be detailed in the Waste Management Plan and approved by Council prior to the commencement of the use.

- 39 Waste management areas are to be provided appropriate signage including warnings and management procedures.
- 40 Refuse containers and the waste storage area must be maintained in a clean and nuisance free manner.
- 41 ~~(Deleted 24 February 2021) Provide waste baskets within the basement car park, ground level car parking areas and publicly accessible areas of the development. Details, plans and specifications of the number and type of waste baskets proposed are to be submitted to Council as part of the Waste Management Plan.~~

~~*Note: Condition 49 is not referring to commercial waste collection facilities.*~~

Landscaping

- 42 The development site is to be landscaped in accordance with a Council approved detailed Landscaping Plan.
- 43 ~~(Deleted 24 February 2021) Proposed landscaping works are to be in accordance with Drawing No: LP01, Rev D, Biloela Shoppingworld – Proposed Landscape Concept Plan, dated 29-08-2012, Drawing No: LP02, Rev D, Biloela Shopping World – Proposed Landscape Elevation, dated 29-08-2012 and Drawing No: LP02, Rev D, Biloela Shopping World – Plant Species and Plant Palette, dated 29-08-2012.~~
- 44 ~~(Deleted 24 February 2021) Proposed landscaping works, in addition to the landscaping shown on the approved plans, must include additional shade trees within on grade car parking areas at a rate of 1 tree per 6 parking spaces or provision of shade covers subject to Council agreement / approval.~~
- 45 **(Amended 24 February 2021)** A detailed Landscaping Plan prepared by a suitably qualified and experienced Landscape Design Consultant is to be submitted for approval at each relevant stage of the development and must be **generally** in accordance with the approved concept landscape plans, the requirements of the Banana Shire Planning Scheme 2005 and Capricorn Municipal Development Guidelines. This plan is to show the following as a minimum:
- a) Landscape specification of sufficient detail so that landscape works can be carried out;
 - b) Details of vegetation to be retained and proposed to be removed;
 - c) The type and location of all proposed plant species, including the nominal height attained by these species in two years and at maturity; and
 - d) Details of any irrigation system proposed.

- 46 Landscaping design must incorporate Crime Prevention through Environmental Design Principles.
- 47 Any proposed landscaped / street scaping works within Council's Road Reserve must comply with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-G-016).
- 48 Design and construct all landscaping works detailed in the Council approved Landscaping Plan and an Operational Works Permit for the works.
- 49 All landscaping shown on the Council approved Landscaping Plans must be maintained (i.e. watering, fertilising, mulching, weeding, and the like) for the duration of the approved use, at no cost to Council.

Streetscaping

50 ~~(Deleted 24 February 2021) Streetscaping works are to be carried out for the developments Kariboe Street and Gladstone Road frontages (extending from the proposed building edge to the kerb line) and must include:~~

- ~~a) streetscaping works shown on the approved plans and proposed for the Kariboe Street frontage;~~
- ~~b) upgrades to the Gladstone Road frontage that are consistent with the proposed Kariboe Street streetscaping works in terms of design treatments; and,~~
- ~~c) appropriate street furniture.~~

51 **(Amended 24 February 2021) Streetscape works are to be carried out in accordance with a Council approved details Streetscaping Plan.**

A The detailed Streetscaping Plan for Kariboe Street and Gladstone Road frontages (extending from the proposed building edge to the kerb line) prepared by a suitably qualified and experienced Landscape Design Consultant is to be submitted for approval at each relevant stage of the development and must be in accordance the requirements of the Banana Shire Planning Scheme 2005 and Capricorn Municipal Development Guidelines. This plan is to show the following as a minimum:

- a) Streetscaping specification of sufficient detail so that streetscaping works can be assessed and carried out;
- b) Details of existing streetscaping elements and vegetation to be retained and proposed to be removed;
- c) proposed street furniture;
- d) The type and location of all proposed plant species, including the nominal height attained by these species in two years and at maturity; and

- e) Details of any irrigation system proposed subject to operational allowances.
- 52 Design and construct all landscaping works detailed in the Council approved Streetscaping Plans and an Operational Works Permit for the works.
- 53 'As constructed' plans and specifications for all streetscaping works carried out within a road reserve are to be submitted to Council on completion of the works.

Fencing

- 54 ~~(Deleted 24 February 2021) All proposed fencing (excluding temporary construction fencing) must be detailed and submitted with the detailed Landscaping Plans required under the conditions of this Development Approval.~~
- 55 ~~(Deleted 24 February 2021) The construction of any proposed fencing (excluding temporary construction fencing) is to be approved by Council prior to the commencement of any fencing works.~~

Vehicle Parking and Manoeuvring Areas

- 56 ~~(Deleted 24 February 2021) Car parking, where staged, is to be shown on the Amended Staging Plans required under condition 7 of this Development Approval.~~

Off-street Parking and Manoeuvring Areas

- 57 **(Amended 24 February 2021)** Design, construct and delineate or sign (as required) the following requirements for off-street parking and manoeuvring areas, in the locations shown on the approved plan(s):
- a) a minimum of ~~560~~ **521** (includes 34 spaces at Kariboe Street) customer car parking spaces in accordance with AS2890.1; **and resubmit amended plans DA-1001 and DA-1002 with updated car parking schedule to reflect the correct number of car parks as shown on the approved plans;**
 - b) a minimum of 34 staff (Kariboe Street car park) car parking spaces in accordance with AS2890.1;
 - c) disabled car parking spaces in accordance with the requirements of the Manual of Uniform Traffic Control Devices.
 - d) bicycle parking facilities in accordance AS2890.3 at the rates specified in Main Roads Planning and Design Manual.
 - e) Service, delivery and waste collection vehicle access and parking in accordance with AS 2890.2, Parking facilities – Part 2: Off-street commercial vehicle facilities.

- f) internal vehicle manoeuvring areas, carriageways, isle widths, circulation roads in accordance with AS2890.1 and AS 2890.2.
- 58** Adjoining centre isle car parks within the on grade car parking area must not include vertical concrete kerb or similar obstructions to allow longer vehicles the ability to park within the car park.
- 59** Provide the following within the proposed basement car park:
- a) Clear signage so users can locate vehicles in a timely manner; and
 - b) A network of designated, well lit and signposted pedestrian routes linking users to main entrances of the development.
- 60** Trolley collection bays are to be provided within the basement and on grade car parking area in accordance with the approved plans.
- 61** Sumps and pumps must be provided to drain the basement area of any seepage or stormwater inflows, to discharge to the Council stormwater system.
- 62** Provide for gross pollutant traps, and sediment and oil filters as part of the overall drainage design and car park.
- 63** Car parking must be designed to ensure safe and efficient ingress and egress for vehicles using the premise and pedestrians moving within car parking areas and crossing car parking access points.
- 64** Surface treatments that cause tire screeching (i.e. high shine or painted finishes) must not be used to finish vehicle parking, traffic movement and manoeuvring areas.
- 65** All traffic areas on the development site are to be constructed of reinforced concrete or asphalt with a suitably designed pavement and are to be provided with pavement arrows delineating the movement of traffic within the site.
- 66** Loading and unloading facilities are to be fully contained within the site.
- 67** All vehicle car parking spaces that adjoin a landscaped area must include a 150mm high vertical concrete kerb or wheel stop or similar obstruction to prevent encroachment.
- 68** Car parking areas must not be used for the permanent storage, display or sale of goods.
- 69** As part of the Operational Works application for each stage and prior to an application for Building Works where off-street car parking is required to be constructed, provide evidence that the proposed car park layout complies with the requirements of all relevant Australian Standards including confirmation that:
- a) vehicles (swept paths for the longest vehicle) accessing waste collection areas and loading / unloading docks within the development

site can manoeuvre safely and in accordance with the relevant Australian Standards;

- b) all vehicles can enter and exit the site in forward direction only;
- c) all vehicle movements are to be contained within the road and access way with minimum offsets in accordance with AS2890.2, between the inside wheel path and face of the kerb, road furniture and utility poles and structures;
- d) car parking is designed to ensure safe and efficient ingress and egress for vehicles using the premise and pedestrians moving within car parking areas and crossing car parking access points; and,
- e) Basement car park accesses are designed to achieve a suitable grade to avoid vehicles scraping or bottoming out.

70 Submit evidence that demonstrates that all car parking has been constructed in accordance with the conditions contained in Attachment 1, Section 3 of this Development Approval prior to the commencement of the use at each stage of the development.

On-street Parking

71 **(Amended 24 February 2021)** Design, construct and delineate or sign (as required) the following requirements for on-street parking, in the locations generally shown on the approved plan(s):

- a) 26 angle car parks on Barrett Street;
- b) 12 angle car parks and 3 motor cycle parking spaces on Kariboe Street;
- ~~c) 14 car parking spaces (in addition to caravan / RV spaces) within the proposed Tourist Information Centre Site; and~~
- d) bus stop, taxi and loading bays on Kariboe Street, **mail zone on Kariboe Street;**
- e) **15 minute parking zone on Gladstone Road/Dawson Highway.**

72 All on-street parking only is to be designed and constructed in accordance with the requirements of the Capricorn Municipal Development Guidelines (CMDG) and an Operational Works permit for the works.

Access

73 All crossover/driveways, from local roads, are to be provided in accordance with an Operational Works approval and as per the following –

- a) All two-way vehicle crossovers are to be constructed to a commercial standard and consist of a full width concrete pavement a minimum 6.0m wide (so as to accommodate two-way vehicle movement) in accordance with the requirements of the Capricorn Municipal

Development Guidelines (Standard Drawing CMDG-R-042 or CMDG-R-043).

- b) All one-way vehicle crossovers are to be constructed to a commercial standard and consist of a full width concrete pavement a minimum 3.0m wide in accordance with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-R-042 or CMDG-R-043).
- 74 Remove all disused vehicle entrances and reinstate kerbing consistent with the adjacent kerb profile.
- 75 Any damage incurred by the existing road surface, services or furniture as a result of the works required for the installation of the crossover/driveway is to be repaired to the pre-existing or better condition at no cost to Council.
- 76 Any street trees that are removed to facilitate the construction of the crossover/driveway, associated with the development, must be replaced, as per the requirements of the Capricorn Municipal Development Guidelines (CMDG-G-016), prior to the commencement of the use with a like for like replacement in terms of size, width, maturity, species at a location specified by Council.

Road works

- 77 **(Amended 24 February 2021)** Design and construct the following road works in accordance with the conditions of this Development Approval, the Banana Shire Planning Scheme 2005, the Capricorn Municipal Development Guidelines (CMDG) and an Operational Works Permit for the works:
- a) ~~Prior to the commencement of the use for Stage 4,~~ A 30mm asphalt overlay is to be completed on Kariboe Street, from the Gladstone Road intersection to the Barrett Street intersection.
- 78 Detailed plans and specifications of the required road works including traffic management plans and temporary traffic control arrangements are to be submitted to Council as part of an Operational Works application and must be approved prior to the commencement of any works.
- 79 The design and installation of all street warning, regulatory signage and street name plates in accordance with the Manual of Uniform Traffic Control Devices and the requirements of the Capricorn Municipal Development Guidelines.
- 80 ~~(Deleted 24 February 2021) The design for the proposed widening of Kariboe Street at the intersection with Gladstone Road is to be completed as per the requirements of the Capricorn Municipal Development Guidelines (CMDG) and the Department of Transport and Main Roads. A copy of the proposed design is to be submitted to Council for approval as part of an Operational Works application.~~

Callide Street Road Closure

- 81 **(Amended 24 February 2021)** Maintain vehicle access between Barrett Street and Gladstone Road / Dawson Highway (i.e. former Callide Street road reserve) up and until the commencement of any works associated with **Stage 3b (Construction of on-grade car parking)**. ~~Interim traffic control arrangements are to be designed and implemented to allow safe vehicle movements within the site including at the Barrett Street and intersection and Gladstone Road / Dawson Highway intersection. Details, plans and specifications of the proposed interim arrangements are to be submitted with the amended staging plans required under condition 7~~ **Stage 01 of approved plan DA-9100, Development Staging Plan Issue 2 dated 2020.11.16.**

Street Lighting

- 82 **(Amended 24 February 2021)** A Street lighting plan for the internal **and external** road network is to be provided to Council as part of the operational works application and is to be prepared by a suitably qualified engineer. Lighting standards are to be in accordance with Ergon's requirements and Australian Standard AS/NZS 1158 and the requirements of the Capricorn Municipal Development Guidelines.

Pedestrian Access and Infrastructure

- 83 **(Amended 24 February 2021)** Submit to Council for approval a detailed Pathway Infrastructure Plan detailing and addressing the following, as a minimum:
- a) ~~all proposed pathway infrastructure generally as shown on the Approved Plans;~~
 - b) pedestrian safety considerations, in particular, for all proposed pedestrian crossings and internal car parking areas; and
 - c) **demonstrate a variety of safe access routes from multiple origins. Barrett Street external foot path and crossing, as shown on the approved operational works plans.**
- 84 **(Deleted 24 February 2021)** ~~Design and construct all pedestrian pathway infrastructure in accordance with the Council approved Pathway Infrastructure Plan and in accordance with the Capricorn Municipal Development Guidelines (CMDG) and submitted to Council for approval as part of an Operational Works application.~~
- 85 **(Amended 24 February 2021)** Pathways (excluding street scaping works) are to comply with the requirements of the Capricorn Municipal Development Guidelines (Standard Drawing CMDG-R-051) **Pathway Infrastructure Plan** and a minimum two (2) metres wide.
- 86 **(Deleted 24 February 2021)** ~~The pedestrian crossing infrastructure proposed for the Burnett Highway must be located to ensure the safety of pedestrians between the new intersection on Barrett Street and the~~

~~current Dawson / Burnett Highway intersection crossing the Burnett Highway.~~

Water and Sewerage

- 87 Connect the premises to the Council's reticulated water supply network in accordance with Council requirements. The water meters shall be so positioned to ensure easy and efficient reading of the gauge. Only one (1) water meter/connection and one sewer connection point is permitted.
- 88 Connect the site to Council's reticulated water supply network in accordance with Council requirements ensuring the water meter is positioned at the property boundary along Barrett Street so as to allow for easy and efficient reading.
- 89 Where a connection does not exist or existing connection is not sufficient to service the development, a separate application shall be made to Council for a new connection or increase the size of the existing connection.
- 90 **(Amended 24 February 2021) ~~So as to ensure sufficient water pressure and flow for fire fighting purposes the existing 100mm diameter water main running along Kariboe Street (from Barrett Street to Gladstone Road) and along Gladstone Road (from Kariboe Street to connect with the proposed relocated water main) is to be upgraded to a minimum 150mm diameter pipe, subject to network analysis confirmation. Once the site has been connected to Council's reticulated water supply and sewerage network:~~**
- a) either decommission or maintain as private infrastructure the existing 150mm diameter water supply and the 150mm diameter sewerage pipe within the former Callide Street road reserve (between Barrett Street and Gladstone Road).
 - b) seek a bond refund from Council.
- 91 **(Deleted 24 February 2021) ~~The proposed relocated water main proposed in services drawing 212102 CSK100 A is to comprise of a minimum 150mm diameter pipe subject to the results of the network analysis.~~**
- 92 Connect the premises to the Council's reticulated sewerage network in accordance with Council requirements.
- 93 **(Amended 24 February 2021) A new manhole is to be installed at within the property boundary of the proposed amalgamated lot ~~in all sewer lines (existing or proposed) entering the property and the subsequent adjacent to the Barrett Street frontage.~~ Sewer pipes, within the property boundaries, are to be removed or maintained, as private sewer, at no cost to Council by the property owner.**
- 94 Plans of internal water supply and sewerage services detailing all proposed works are to be submitted for Council approval prior to construction of site works commencing.

- 95 Redundant services are to be removed by the applicant and inspected by Council's plumbing inspector or nominated representative prior to backfilling.
- 96 A separate application is to be made to Council for any relocation of water or sewerage services required due to this application. This application must be made and approved before the relocation of services commences.
- 97 Where damage occurs to any Council asset as a result of the development works, the Applicant must be repair the damage immediately, at no cost to Council, where it creates a hazard that presents risk to person or property. Other damage must be repaired prior to completion of the works.
- 98 **(Amended 24 February 2021)** The design of all ~~internal and~~ external water and sewerage works and infrastructure proposed for the development is to be submitted as part of an Operational Works application ~~and is to include all necessary upgrades of Council's existing water and sewerage infrastructure required to ensure that the downstream properties of the system are not adversely affected by the increased demand of the proposed development. All necessary materials and works, in accordance with the Council approved design, are to be provided at no cost to Council.~~

Stormwater

- 99 The stormwater drainage system serving the approved use must be designed so that the development will not make material changes to the pre-development location, duration, frequency or concentration of overland stormwater flow at the point of discharge to all downstream properties including road reserves.
In the event that a material change to the pre-development stormwater flows will occur provide written evidence to Council's satisfaction of a legal right to discharge stormwater over the downstream land in the proposed method.
- 100 All stormwater collected from the site including roof water is to be piped to a legal point of discharge (includes rainwater tanks). Such works are to be sized and constructed as determined by the detailed design.
- 101 **(Amended 24 February 2021)** Stormwater runoff is to discharge to a legal point of discharge (Brown's Gully). A detailed Stormwater Management Plan, and associated engineered drawings, is to be created that is in accordance with the Site Based Stormwater Management Plan (written by Farr Engineers Associates Pty Ltd and dated ~~29 September 2014~~ **30 September 2020**). ~~This detailed plan is to be provided to Council as part of the operational works application and must comply with the requirements of the Capricorn Municipal Development Guidelines.~~

The detailed Stormwater Management Plan is to include the installation of additional stormwater infrastructure required to transport the stormwater from the development to Brown's Gully (legal point of discharge) or calculations showing that the existing 600mm diameter stormwater pipe has sufficient capacity to allow for the addition of the stormwater from the proposed development.

- 102 The detailed Stormwater Management Plan is to demonstrate that all stormwater being discharged from the site meets the CMDG and the Queensland Water Quality Guidelines 2009.
- a) Contaminated water must not be directly or indirectly released from the premises onto the ground or into the groundwater at the premises.
 - b) Releases to stormwater must not cause any visible oil slick or other visible evidence of oil or grease, nor contain visible grease, scum, litter or floating oil.
- 103 The detailed Stormwater Management Plan is to include any relevant requirements under the State Planning Policy.
- 104 **(Amended 24 February 2021) Management and Maintenance Plans for the proposed Bio-Retention system approved cartridge based system is are** to be submitted to Council for approval before the commencement of use.
- 105 ~~(Deleted 24 February 2021) An easement over the Bio-Retention pond is to be established and the pond is to be maintained for the life of the development, at no cost to Council.~~
- 106 ~~(Deleted 24 February 2021) An access to the Bio-Retention pond is to be established and maintained, at no cost to Council, so as to allow for the maintenance of the pond.~~
- 107 Gross pollutant traps are to be installed at the stormwater discharge points of all car parking areas. These are to be regularly maintained, at no cost to Council, so as to ensure their effectiveness in preventing litter entering the surrounding stormwater systems.

Filling and Excavation

- 108 All filling and excavation works are to be designed, constructed and carried out in accordance with the Banana Shire Planning Scheme 2005, Capricorn Municipal Development Guidelines (CMDG) and an Operational Works Permit for the works.
- 109 Details of the extent of filling and excavation are to be detailed within 'As Constructed' plans on completion of the works.

Construction Activities

- 110 Adequate precautions are to be taken to ensure dust does not cause annoyance to adjacent sites or dwellings during construction on the site. This may mean the cessation of work during periods of adverse climatic conditions, or if directed by Council.

- 111** Construction work on the site must not commence on any day before 7.00am, or continue any such work after 6.00pm, except where approved by Council in writing.

Electricity and Telecommunications

- 112** Reticulated electricity and telecommunication services must be provided in accordance with the standards and requirements of the relevant service provider.
- 113** Certification must be submitted to Council from all relevant services providers as evidence that the development has met the required standards and the requirements of the service provider.

Infrastructure Charges

- 114** Infrastructure charges associated with the Material Change of Use application must be paid in full to the Banana Shire Council in accordance with the adopted infrastructure charges notice is attached to this Decision Notice

Management Plans

Waste Management Plan

- 115** Prepare a detailed Waste Management Plan for the approved use. The Waste Management Plan must include the following, as a minimum:
- a) a description of the development activities that may generate waste;
 - b) the types and amounts of waste that may be generated by the activities;
 - c) how the waste will be dealt with, including a description of the types and amounts of waste that will be dealt with under each of the waste management practices mentioned in the waste management hierarchy;
 - d) procedures for identifying and implementing opportunities to minimise the amount of waste generated, promote efficiency in the use of resources, and otherwise improve the waste management practices employed;
 - e) procedures for dealing with accidents, spills and other incidents that may impact on the waste management;
 - f) details of any accredited management system employed, or planned to be employed, to deal with the waste;
 - g) how often the performance of the waste management practices will be assessed;
 - h) the indicators or other criteria on which the performance of the waste management practices will be assessed; and

- i) staff training on matters relevant to waste management.
- 116 The Waste Management Plan must also address odour and vermin control and management for the proposed waste storage area adjacent to Kariboe Street.
- 117 Submit the Waste Management Plan to Council for approval at least 20 business days prior to the commencement of the approved use at each stage of the development.
- 118 The Council approved Waste Management Plan must be implemented, including any recommended works and management measures, prior to the commencement of the approved use, and must be complied with for the duration of the approved use.

Traffic Management Plan

- 119 Traffic Management for the construction phase of the Biloela Shopping World Development is to be undertaken in accordance with a detailed Traffic Management Plan and Traffic Guidance Scheme prepared by a suitably qualified and experienced person pursuant to the Manual of Uniform Traffic Control Devices (MUTCD).
- 120 The Traffic Management Plan and Traffic Guidance Scheme are to be submitted to Council for review within 40 days prior to the commencement of any works associated with Stage 1.

Construction Management Plan

- 121 Prepare a detailed Construction Management Plan for the full extent of the development and in accordance with Council approved Amended Staging Plans.
- 122 The Construction Management Plan is to be submitted to Council for approval within 40 days prior to the commencement of any works associated with Stage 1.
- 123 The Council approved Construction Management Plan must be implemented at all times during construction including any recommended works, actions and management measures at all times during construction of the Biloela Shoppingworld Development.

Note: The construction management plan must include interim arrangements (during staged construction) for the following matters, as a minimum:

- a) loading and unloading of goods for the existing shopping centre;
- b) car parking and vehicle access;
- c) pedestrian access; and
- d) fire fighting.

Construction Phase Environmental Management Plan

124 (Amended 24 February 2021) Prepare a detailed Construction Phase Environmental Management Plan identifying environmental management measures to be implemented during all construction works associated with the Biloela Shopping World Development. The Construction Phase Environmental Management Plan must address the following as a minimum:

- a) Erosion and Sediment Control.
- b) Stormwater Management / Water Quality and surface water runoff (interim drainage plan during construction);
- c) Water Management;
- d) Noise and vibration management
- e) Air Quality Management (including dust suppression and odour management);
- f) Management of light spill and on-site lighting;
- g) Land Contamination (contaminated soil and storage / use of fuel);
- h) Weed Management;
- i) Construction Waste Management;
- j) Storage and handling of fuel and other hazardous goods;
- k) Traffic management and car parking;
- l) Cultural Heritage (~~including the Barimis Memorial~~);
- m) Geotechnical issues;
- n) Emergency Management;
- o) Environmental Monitoring and Reporting;
- p) Management of works near existing above ground and underground infrastructure;
- q) Safety and Hazard Management;
- r) Project Management and Contacts;
- s) Complaints Handling and Management;
- t) Statutory obligations and approvals; and
- u) Review period.

125 The Construction Phase Environmental Management Plan must:

- a) be prepared and certified by a suitably qualified and experienced person;

- b) comply with any design and construction specifications and procedures under the Capricorn Municipal Development Guidelines (CMDG);
 - c) clearly identify design and control measures to be adopted during the construction and post construction phase;
 - d) provide recommendations based on criteria and environmental data relevant to the site and surrounding area and construction works proposed
 - e) be prepared in accordance with the relevant standards.
- 126** Submit the Construction Phase Environmental Management Plan to Council for approval within 40 days prior to the commencement of any works associated with Stage 1.
- 127** The Council approved Construction Phase Environmental Management Plan must be implemented at all times during construction including any recommended works, installation of monitoring equipment and management measures at all times during construction of the Biloela Shopping World Development.

Erosion and Sediment Management Plan

- 128** Detailed Erosion and Sediment Management Plan, and associated engineered drawings, is to be provided to Council as part of the operational works application. This Plan must comply with the Capricorn Municipal Development Guidelines.
- 129** During construction and for the duration of the maintenance period undertake sedimentation and erosion control management in accordance with the approved Erosion and Sediment Management Plan.

Section 4 – Development Permit – Operational Works (Advertising Signage) – COM002-14/15

Approved Plans

- 1 ~~(Deleted 24 February 2021) The Operational Works (Advertising Signage) authorised under this Development Permit is to be completed and carried out generally in accordance with the following approved plans, except where modified by the conditions contained within Attachment 1, Section 4 of this Development Approval –~~

Plan/Document number	Plan/Document name	Date
Project_No. 7142, Sheet_No. DA02 & DA03, Revision 2	Proposed Site Plan	09-12-2014
Project_No. 7142, Sheet_No. DA03, Revision 2	Proposed Basement Plan	09-12-2014
Project_No. 7142, Sheet_No. DA05 & DA06, Revision 1	Elevations	01-10-2014
Project_No. 7142, Sheet_No. DA07, Revision 1	Sections	01-10-2014
Project_No. 7142, Sheet_No. DA08, Revision 1	Details	01-10-2014

General

- 2 ~~(Deleted 24 February 2021) Comply with all of the conditions contained within Attachment 1, Section 4 of this Development Approval prior to the commencement of the use/s relevant to each Stage identified in the Council approved Amended Staging Plan, unless otherwise stated within this Decision Notice, and maintain compliance for the duration of the approved use.~~
- 3 ~~(Deleted 24 February 2021) Exercise the approval and complete all associated works, including any relocation or installation of services, at no cost to Council.~~
- 4 ~~(Deleted 24 February 2021) Where any conflict exists between the Conditions of this Decision Notice and details shown on the Approved Plans, the Conditions prevail.~~

- 5 ~~(Deleted 24 February 2021) Alterations to public utilities, mains and services made necessary in connection with any of the works arising from this approval including works to restore and reinstate all roads are to be completed at no cost to Council.~~

Approved Signage

- 6 ~~(Deleted 24 February 2021) The Approved Signage (Advertising Devices) authorised under this Development Permit consists of all signage shown in the Approved Plans.~~

Advertising Devices

- 7 ~~(Deleted 24 February 2021) Advertising Devices must:~~
- a) ~~be setback at least 1 metre from existing or proposed underground infrastructure.~~
 - b) ~~not present or create a hazard to motorists, pedestrians and cyclists.~~
 - c) ~~not constructed or located such that the view of any traffic sign or street name is obscured.~~

Amenity

- 8 ~~(Deleted 24 February 2021) Illumination from Advertising Devices must not exceed 8 lux when measured at ground level at any point 1.5 metres outside the site and are to be constant during hours of operation so that there is no intermittent action.~~
- 9 ~~(Deleted 24 February 2021) The luminance levels of Advertising Devices must not exceed 400 cd/m².~~
- 10 ~~(Deleted 24 February 2021) Advertising devices are to be maintained in an acceptable condition (free from graffiti or other blemishes) and structurally sound.~~
- 11 ~~(Deleted 24 February 2021) Any damage to or deterioration of advertising devices that occurs during the operation of the approved use is to be rectified / repaired.~~

Final Completion

- 12 ~~(Deleted 24 February 2021) Notification is to be provided to Council following the completion of a works for Operational Works (Advertising Devices).~~

Attachment 1
COM002-14/15 Conditions of Approval
Part B - Assessment Manager Notes

Attachment 1

COM002-14/15 Conditions of Approval

Part B – Assessment Manager Notes

General

- A** In carrying out the activity or works associated with the development, all reasonable and practical measures are to be taken to minimise releases and the likelihood of releases of contaminants to the environment, except as otherwise provided by the conditions of this development approval.
- B** Failure to ensure ongoing compliance with conditions of this Development Permit including Conditions relating to the ongoing use of the premise, and the design and layout of the development may constitute an offence under the Planning Act.
- C** Pursuant to section 75 of the *Local Government Act 2009*, Council's written approval is required to carry out works on a road, or interfere with a road or its operation. This requirement applies to all Council-controlled roads within its local government area. The process for obtaining approval is set out in Council's *Local Law No. 1 (Administration) 2011*. Approval must be obtained prior to the commencement of the works.
- D** Please note the conditions dated 17 September 2015 imposed by the State Assessment and Referral Agency (SARA) as a concurrence agency and attached to this Decision Notice.
- E** Please note the advice surrounding the applicants 'Environmental Obligations' contained in an attachment to the Decision Notice.
- F** The Developer and the Department of Transport and Main Roads should consider an appropriate location for the existing local Banner Advertising located on the Gladstone Road / Burnett Highway corner of the development site.
- G** The approval to which these conditions attach may also be subject to an adopted infrastructure charges notice. See s648F of the *Sustainable Planning Act 2009*.
- H** ~~(Deleted 24 February 2021) Council will consult with the Barimis family relatives to ensure compliance with the conditions of this Development Approval relating to the relocation and restoration of the two Barimis Memorial structures. The final design of the new memorial must be approved in writing by a Barimis family relative prior to Council approval.~~
- I** The Department of Transport and Main Roads (DTMR) are progressing the opening of five (5) metres of the balance of the closed corridor as a state controlled road. This should be factored in the dedication / transfer and the design and development of Future Lot 5 shown on Plan Reference: BA1398-

PP_04_v3, Lot 211 on SP119237 | Reconfiguration of a Lot Plan and dated 27-11-12.

- J** Council may consider a proportional contribution or offset in relation to external water and sewerage infrastructure where such infrastructure is identified as trunk infrastructure in the local governments infrastructure plan.
- K** ~~(Deleted 24 February 2021) Council may consider bonding certain works subject to written agreement between the Council and the developer. Any bond for such works must be, as a minimum requirement:~~
- ~~a) in the form of a bank guarantee;~~
 - ~~b) for the purpose of ensuring that works are completed in accordance with the standards identified in the conditions of this development approval;~~
 - ~~c) in an amount which will be determined prior to the issue of a development permit for operational works associated with the development; and,~~
 - ~~d) maintained for a period of time which will be determined prior to the issue of a development permit for operational works associated with the development.~~

Engineering

- A** ~~(Deleted 24 February 2021) Prior to commencing any of the following construction activities the applicant/developer will be required to obtain a development permit for operational work:~~
- ~~i. Internal and external roadworks;~~
 - ~~ii. earthworks;~~
 - ~~iii. Internal pathways;~~
 - ~~iv. stormwater drainage ;~~
 - ~~v. erosion and sediment control;~~
 - ~~vi. electricity and communication layout;~~
 - ~~vii. internal and external lighting; and~~
 - ~~viii. landscaping.~~
- B** Operational works designs are to be in accordance with Capricorn Municipal Development Guidelines - CMDG Design Specifications and Standard Drawings (www.cmdg.com.au).
- C** Any works on roads shall be conducted in accordance with the Queensland Department of Transport and Main Roads, "Manual of Uniform Traffic Control Devices – Part 3".
- D** The applicant/developer is required to provide Operational Works application with engineering drawings and details which are to be submitted for approval prior to any on-site construction commencing.
- E** All reports and documentation required to be supplied as part of the application shall be signed and certified by an appropriately qualified Registered Professional Engineer, Queensland (REPQ).

- F** All damage incurred to existing roads, footpaths, services or street furniture as a result of the proposed development shall be repaired within a reasonable period at the developer's expense.
- G** All works required pursuant to these conditions shall be undertaken and completed in accordance with Council's Standards (Capricorn Municipal Development Guidelines) at the Applicant's expense.
- H** It is the developers' responsibility to install such systems that are necessary to supply sufficient fire fighting capacity to the satisfaction of Queensland Fire and Rescue Service and Council, and where necessary install on-site systems to supplement the available supply and meet flow and pressure requirements.
- I** Any upgrades/amendments to the existing service connections that may be necessitated by this development shall be undertaken at the applicant's expense. Only one (1) water meter/connection and one sewer connection point is permitted per allotment.
- J** The applicant is to install approved backflow prevention devices to protect the integrity of Council's reticulation system.
- K** All redundant services are to be removed by the applicant and inspected by Council's plumbing inspector or nominated representative prior to backfilling. A minimum of 2m clearance is maintained from the Council sewer line within this site".
- L** Hydraulic Services plans will be required to be submitted to Council for Plumbing and Drainage approval. These plans must show all drinking, non-drinking, heated, rainwater, sanitary plumbing, sanitary drainage and trade waste services.

Cultural Heritage

- A** This development approval does not authorise any activity that may harm Aboriginal cultural heritage. Under the Aboriginal Cultural Heritage Act 2003 you have a duty of care in relation to such heritage. Section 23(1) provides that, "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage".

Council does not warrant that the approved development avoids affecting Aboriginal cultural heritage. It may therefore be prudent for you to carry out searches, consultation, or a cultural heritage assessment to ascertain the presence or otherwise of Aboriginal cultural heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding.

Attachment 1

COM002-14/15 Conditions of Approval

*Part C - Conditions imposed by the Department State Development
Infrastructure & Planning*

Please note the Department State Development Infrastructure & Planning conditions.



Department of Infrastructure,
Local Government and Planning

Our reference: SDA-1014-015244
Your reference: COM002-14/15

17 September 2015

The Chief Executive Officer
Banana Shire Council
enquiries@banana.qld.gov.au

Dear Sir

Concurrence agency response—with conditions

2 Gladstone Road and 34 Kariboe Street; Biloela QLD 4715
30 SP122571; 2 SP121353; 211 SP119237; 30 CP894250; 53 SP126772
(Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of Infrastructure, Local Government and Planning under section 272 of the *Sustainable Planning Act 2009* on 29 October 2014.

Applicant details

Applicant name: Biloela Square Pty Ltd C/- Urbis Pty Ltd
Applicant contact details: Level 7, 123 Albert Street
Brisbane QLD 4000
dleong@urbis.com.au

Site details

Street address: 2 Gladstone Road and 34 Kariboe Street; Biloela QLD 4715
Lot on plan: 30 SP122571; 2 SP121353; 211 SP119237; 30 CP894250;
53 SP126772
Local government area: Banana Shire

Application details

Proposed development:	<p>Preliminary approval for Material change of use (s.242 seeking to vary the effect of a local planning instrument) for the 'Biloela Shoppingworld Development Code'</p> <p>Development permit for a Material change of use for retail / commercial complex and food premises</p> <p>Development permit for Reconfiguring a lot (5 lots into 2 lots and new road)</p> <p>Development permit for Operational works (advertising devices)</p>
-----------------------	--

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Proposal of Description	Level of Assessment
Preliminary approval for a material change of use (s.242)	Preliminary approval	Vary the effect of a local planning instrument for the 'Biloela Shoppingworld Development Code'	Impact Assessment
Material change of use	Development permit	Retail / commercial complex (incorporating commercial premises, shop, showroom and food premises) Food premises (McDonald's Family Restaurant)	Impact Assessment
Reconfiguring a lot	Development permit	5 lots into 2 lots and new road	Code Assessment
Operational works	Development permit	Advertising devices	Code Assessment

Referral triggers

The development application was referred to the department under the following provisions of the Sustainable Planning Regulation 2009:

Referral trigger	<p>Schedule 7, Table 2, Item 2 – State-controlled road</p> <p>Schedule 7, Table 3, Item 1 – State-controlled road</p> <p>Schedule 7, Table 3, Item 2 – State transport infrastructure</p> <p>Schedule 7, Table 3, Item 15A - Railways</p>
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Conditions

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the conditions set out in Attachment 1 must be attached to any development approval.

Reasons for decision to impose conditions

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Further advice

Under section 287(6) of the *Sustainable Planning Act 2009*, the department offers advice about the application to the assessment manager—see Attachment 3.

Approved plans and specifications

The department requires that the following plans and specifications set out below and in Attachment 4 must be attached to any development approval.

Drawing/Report Title	Prepared by	Date	Reference no.	Version/Issue
Aspect of development: Material change of use				
Proposed Site Plan (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015)	Thomson Adsett	13 July 2015	DA02	Revision P4
Proposed Basement Plan	Thomson Adsett	13 July 2015	DA03	Revision 3
Staging Plan – Stage 1 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015)	Thomson Adsett	10 March 2015	ST01	Revision P1
Staging Plan – Stage 2	Thomson Adsett	10 March 2015	ST02	Revision P1
Staging Plan – Stage 3 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015)	Thomson Adsett	10 March 2015	ST03	Revision P1
Staging Plan – Stage 4A Basement	Thomson Adsett	10 March 2015	ST04	Revision P1
Staging Plan – Stage 4B (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015)	Thomson Adsett	10 March 2015	ST05	Revision P1
Site Based Stormwater Management Plan	Farr Engineers	29 September 2014	212102	Revision 3
Aspect of development: Reconfiguring a lot				
Reconfiguration of a Lot Plan (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015).	Urbis	21 August 2012	BA1398 – PP_03	Version 2

A copy of this response has been sent to the applicant for their information.

For further information, please contact Anthony Walsh, Principal Planning Officer, SARA Fitzroy & Central on 4924 2904, or email rockhamptonSARA@dilgp.qld.gov.au who will be pleased to assist.

Yours sincerely



Don Cook
Manager Planning
Fitzroy and Central

cc: Biloela Square Pty Ltd C/- Urbis Pty Ltd, dleong@urbis.com.au
enc: Attachment 1—Conditions to be imposed
 Attachment 2—Reasons for decision to impose conditions
 Attachment 3—Further advice
 Attachment 4—Approved Plans and Specifications

Our reference: SDA-1014-015244

Your reference: COM002-14/15

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Development permit for a Material change of use for retail / commercial complex and food premises		
7.3.1 State-controlled road & 7.3.2 State transport infrastructure—Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of the Department of Transport and Main Roads to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The development must be carried out generally in accordance with the following plans:</p> <ul style="list-style-type: none"> • Proposed Site Plan prepared by Thomson Adsett, Drawing No. DA02, Revision P4, and dated 13 July 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015); • Proposed Basement Plan prepared by Thomson Adsett, Drawing No. DA03, Revision 3, and dated 13 July 2015; • Staging Plan – Stage 1 prepared by Thomson Adsett, Drawing No. ST01, Revision P1, and dated 10 March 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015); • Staging Plan – Stage 2 prepared by Thomson Adsett, Drawing No. ST02, Revision P1, and dated 10 March 2015; • Staging Plan – Stage 3 prepared by Thomson Adsett, Drawing No. ST03, Revision P1, and dated 10 March 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015); • Staging Plan – Stage 4A Basement prepared by Thomson Adsett, Drawing No. ST04, Revision P1, and dated 10 March 2015; and • Staging Plan – Stage 4B prepared by Thomson Adsett, Drawing No. ST05, Revision P1, and dated 10 March 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015). 	At all times.
2.	The permitted road access locations, for which approval under section 62 of the <i>Transport Infrastructure Act 1994</i> must be obtained, is to be located on the Burnett Highway (Monto – Biloela) and Dawson Highway (Gladstone – Biloela), generally in accordance with Proposed Site Plan prepared by Thomson Adsett, Drawing No. DA02, Revision P4, and dated 13 July 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015).	At all times.
3.	Direct vehicular access is not permitted between the Dawson Highway or Burnett Highway and the subject site at any location other than the permitted road access locations.	At all times.
4.	The permitted road access locations are restricted as follows: (a) The access to the Burnett Highway to a left-in/left-out arrangement only.	Prior to the commencement of use and to be

No.	Conditions	Condition timing
	<p>(b) The accesses to the Dawson Highway to:</p> <ol style="list-style-type: none"> i. a left-in/left-out arrangement for the main access in the approximate location of the existing Callide Street; and ii. retention of the existing left out egress from the existing drive-thru exit. 	maintained at all times.
5.	<p>Road access works comprising commercial accesses to the development, (for which approval under section 33 of the <i>Transport Infrastructure Act 1994</i> must be obtained), at the permitted road access locations, in particular:</p> <p>(a) The new proposed road access location on the Dawson Highway (Gladstone – Biloela) must provide an Auxiliary Left Turn Lane (AUL).</p> <p>The road works (including lighting and any signage) must be designed and constructed in accordance with the following:</p> <ul style="list-style-type: none"> • Road Planning and Design Manual, prepared by Department of Transport and Main Roads, dated July 2013, Revision 2nd edition; and • Manual of Uniform Traffic Control Devices (Queensland), prepared by Department of Transport and Main Roads, dated 14 March 2014, Revision 2003 edition (7th issue). 	Prior to the commencement of use and to be maintained at all times.
6.	<p>Road works comprising the following traffic intersections for which approval(s) under section 33 of the <i>Transport Infrastructure Act 1994</i> must be obtained must be provided, in particular:</p> <p>(a) for the Dawson Highway / Burnett Highway intersection:</p> <ol style="list-style-type: none"> i. traffic signalisation; ii. a left turn slip lane treatment (with proposed road reserve truncation) from over the Dawson Highway (Gladstone – Biloela) to accommodate B-double vehicle; and iii. Channelised Right Turn Lane (CHR) from over the Dawson Highway (Biloela – Banana) to accommodate Type 1 Road Train vehicle. <p>(b) for the Dawson Highway / Kariboe Street intersection:</p> <ol style="list-style-type: none"> i. additional left turn stand-up lane from Kariboe Street. <p>(c) for the Burnett Highway / Barrett Street intersection:</p> <ol style="list-style-type: none"> i. a Channelised Right Turn (Short) (CHR(S)) / Basic Left Turn (BAL) to accommodate a 19 metre Semi-trailer vehicle. <p>(d) for the Dawson Highway / Callide Street intersection:</p> <ol style="list-style-type: none"> i. installation of infill within the central concrete median on Dawson Highway (Gladstone – Biloela) to close the Callide Street intersection. <p>The road works (including lighting and any signage) must be designed and constructed in accordance with the following:</p> <ul style="list-style-type: none"> • Road Planning and Design Manual, prepared by Department of Transport and Main Roads, dated July 2013, Revision 2nd edition; and • Manual of Uniform Traffic Control Devices (Queensland), prepared by Department of Transport and Main Roads, 	Prior to the commencement of use of any stage of the development.

No.	Conditions	Condition timing
	dated 14 March 2014, Revision 2003 edition (7th issue).	
7.	<p>(a) The development must provide a dedicated taxi facility in Kariboe Street in parallel to the kerb as shown in Proposed Site Plan prepared by Thomson Adsett, Drawing No. DA02, Revision P4, and dated 13 July 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015).</p> <p>(b) The dedicated taxi facility must be designed and constructed in accordance with the following:</p> <ul style="list-style-type: none"> • a minimum of two (2) taxi parking bays (in total) in accordance with AS2890.5 – Parking facilities, Part 5: On-street parking; • Of the 2 provided, at least one (1) taxi parking bay with a length and width suitable for use by people with disabilities in accordance AS2890.5 – Parking facilities, Part 5: On-street parking, AS1428.1 – Design for access and mobility and AS2890.6 – Parking Facilities, Part 6: Off-street parking for people with disabilities; • Accessibility in accordance with the Disability Standards for Accessible Public Transport 2002 - subsection 31(1) of the <i>Disability Discrimination Act 1992</i>; • Taxi zone line marking and two taxi zone signs R5-21 (one at either end of the rank), in accordance with AS1742.11 – Manual of uniform traffic control devices, Part 11: Parking controls; and • Lighting in accordance with AS/NZS 1158.3.1 – Lighting for Roads and Public Spaces, Part 3.1: Pedestrian Area (Category P) Lighting – Performance and Design Requirements. 	Prior to the commencement of works.
8.	<p>(a) The development must be in accordance with the Site Based Stormwater Management Plan prepared by Farr Engineers, Reference 212102, Revision 3, and dated 29 September 2014. In particular:</p> <ul style="list-style-type: none"> • 570kL detention storage over future lot 2 (Lot 211 on SP119237). <p>(b) Any works on the land must not:</p> <ol style="list-style-type: none"> i. create any new discharge points for stormwater runoff onto the State-controlled road; ii. interfere with and/or cause damage to the existing stormwater drainage on the State-controlled road; iii. surcharge any existing culvert or drain on the State-controlled road; iv. reduce the quality of stormwater discharge onto the State-controlled road. <p>(c) RPEQ certification with documented evidence must be provided to the Department of Transport and Main Roads (Fitzroy District / Central Queensland Region) at FitzroyDistrict@tmr.qld.gov.au or (07) 4931 1500, confirming that the development has been designed and constructed in accordance with parts (a) and (b) of this condition.</p>	<p>(a) & (b): Prior to the commencement of use of Stage 2b.</p> <p>(c): Prior to the commencement of use.</p>
9.	Provide (on a stage by stage basis) the pedestrian footpath network as generally shown in Proposed Site Plan prepared by	Prior to the commencement of

No.	Conditions	Condition timing
	<p>Thomson Adsett, Drawing No. DA02, Revision P4, and dated 13 July 2015 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015) and in accordance with the following standards:</p> <ul style="list-style-type: none"> • the design requirements detailed in Austroads Guide to Road Design – Part 6A: Pedestrian and Cyclist Paths 2009; and • access suitable for use by people with disabilities in accordance with the Disability Standards for Access Public Transport 2002 – subsection 31(1) of the <i>Disability Discrimination Act 1992</i>. 	use.
Development permit for Reconfiguring a lot (5 lots into 2 lots and new road)		
<p>7.2.2 State-controlled road—Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i>, the chief executive administering the Act nominates the Director-General of Department of Transport and Main Roads to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):</p>		
10.	<p>The development must be carried out generally in accordance with the following plan,</p> <ul style="list-style-type: none"> • Reconfiguration of a Lot Plan (Proposed) prepared by Urbis, Drawing No. BA1398 - PP_03_v2, and dated 21 August 2012 (as amended by Department of Infrastructure, Local Government and Planning dated 17 September 2015). 	Prior to submitting the plan of survey to the local government for approval.

Our reference: SDA-1014-015244

Your reference: COM002-14/15

Attachment 2—Reasons for decision to impose conditions

The reasons for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application (as amended by the Department of Infrastructure, Local Government and Planning).
- To ensure the road access location to the state-controlled road from the site does not compromise the safety and efficiency of the state-controlled road.
- To ensure access to the state-controlled road from the site does not compromise the safety and efficiency of the state-controlled road.
- To ensure the turning movements of vehicles entering and exiting the premises via the road access maintains the safety and efficiency of the state-controlled road.
- To ensure the design of any road access maintains the safety and efficiency of the state-controlled road.
- To ensure the road works on, or associated with, the state-controlled road network are undertaken in accordance with applicable standards.
- To ensure that during and following construction taxi facilities continue to function and are designed in accordance with applicable standards.
- To ensure that the impacts of stormwater events associated with development are minimised and managed to avoid creating any adverse impacts on the state transport corridor.
- To ensure pathways are planned and designed to be fit-for-purpose.

Our reference: SDA-1014-015244

Your reference: COM002-14/15

Attachment 3—Further advice

General advice	
1.	<p>Preliminary approval varying the effect of the local planning instrument for the Biloela Shoppingworld Development Code</p> <p>The proposed development requests for a nominated period of ten (10) years as the period in which the approval should lapse if the proposed development is started but not completed within the period, as per the IDAS Form 31 and as described by the application's supporting planning report prepared by Urbis.</p> <p>It is noted that the supporting Biloela Shoppingworld Development Code prepared by Urbis otherwise requests for a nominated period of twenty (20) years as the period in which the approval should lapse if the proposed development is started but not completed.</p> <p>The Department of Transport and Main Roads considers that based upon the assessment it can only support a nominated period of 10 years for the preliminary approval, given the traffic impact assessments have not considered or assessed the State-controlled road network beyond this time.</p>
2.	<p>On-street car parking</p> <p>It is noted that the proposed development appears to demonstrate a reliance on parking over the Dawson Highway, being State-controlled road. The Department of Transport and Main Roads provides no guarantee that existing on-street car parking spaces will continue to be available in the future.</p> <p>The Department of Transport and Main Roads has the statutory authority to regulate parking over State-controlled roads and may remove parking at any time. It is recommended that the assessment manager take this advice into consideration when assessing the development application against any car parking requirements.</p>
3.	<p>Public passenger transport</p> <p>The existing taxi facility situated in Kariboe Street may be potentially impacted on by the construction of the development. The taxi facility must be able to function and pedestrian access to this facility must be maintained during the construction of the development.</p> <p>Accordingly, if any temporary taxi parking and pedestrian access arrangements are required during the construction of the development, the applicant must reach agreement on suitable arrangements with the Manager (Project Planning and Corridor Management) of the Department of Transport and Main Roads (Fitzroy District / Central Queensland Region) at FitzroyDistrict@tmr.qld.gov.au or (07) 4931 1500, and the Banana Shire Council.</p> <p>At least one (1) taxi parking bay should be capable of accommodating a taxi suitable for use by people with disabilities in accordance with the following:</p> <ul style="list-style-type: none"> • Disability Standards for Accessible Public Transport 2002 – subsection 31(1) of the <i>Disability Discrimination Act 1992</i>; • AS1428.1 – Design for Access and Mobility; and • AS2890.6 – Parking Facilities, Part 6: Off-street parking for people with disabilities.

Further development permits, compliance permits or compliance certificates	
4.	<p>Works in State-controlled road reserve (WSCRR)</p> <p>Under section 33 of the <i>Transport Infrastructure Act 1994</i>, written approval is required from the Department of Transport and Main Roads to carry out road works, including road access works, on a State-controlled road. The approval process may require the approval of engineering designs of the proposed works, certified by a Registered Professional Engineer of Queensland (RPEQ).</p> <p>No works are to commence within the State-controlled road reserve until approval of the plan/s showing the proposed works is issued by the Department of Transport and Main Roads accordingly with Section 33 of the <i>Transport Infrastructure Act 1994</i>. This approval may be subject to conditions related to the works construction process.</p> <p>Please contact the Manager (Project Planning and Corridor Management) of the Department of Transport and Main Roads (Fitzroy District / Central Queensland Region) at FitzroyDistrict@tmr.qld.gov.au or (07) 4931 1500 to make an application for works in the State-controlled road reserve (WSCRR).</p> <p>The department notes that any proposal for road works infrastructure must provide for the traffic operational requirements for the road environment. Any operational deficiencies (existing or otherwise) should not be built into new design works and must be designed in accordance with the current standards.</p>
5.	<p>Access to State-controlled roads</p> <p>In accordance with the <i>Transport Infrastructure Act 1994</i>, a permitted road access location means a permitted road access location under a decision in force under section 62(1) of the Act. A decision of approval may include conditions or restrictions on the location or use of the permitted road access, type or number of vehicles to use the permitted road access location. Further information regarding access to State-controlled roads is available at: http://www.tmr.qld.gov.au/Community-and-environment/Planning-and-development/Other-matters-requiring-approval.aspx.</p> <p>Please contact the Manager (Project Planning and Corridor Management) of the Department of Transport and Main Roads (Fitzroy District / Central Queensland Region) at FitzroyDistrict@tmr.qld.gov.au or (07) 4931 1500 to make an application for a permitted road access location.</p>
6.	<p>Road corridor permit (RCP)</p> <p>An application for a Road Corridor Permit is required for any ancillary works and encroachments on the State-controlled road under section 50(2) and Schedule 6 of the <i>Transport Infrastructure Act 1994</i> and Part 5 and Schedule 1 of the Transport Infrastructure (State-controlled Roads) Regulation 2006.</p> <p>Ancillary works and encroachments include but are not limited to advertising signs or other advertising devices, paths or bikeways, vegetation clearing, landscaping and planting.</p> <p>Please contact the Manager (Project Planning and Corridor Management) of the Department of Transport and Main Roads (Fitzroy District / Central Queensland Region) at FitzroyDistrict@tmr.qld.gov.au or (07) 4931 1500 to make an application for a Road Corridor Permit (RCP).</p>

Our reference: SDA-1014-015244
Your reference: COM002-14/15

Attachment 4—Approved plans and specifications

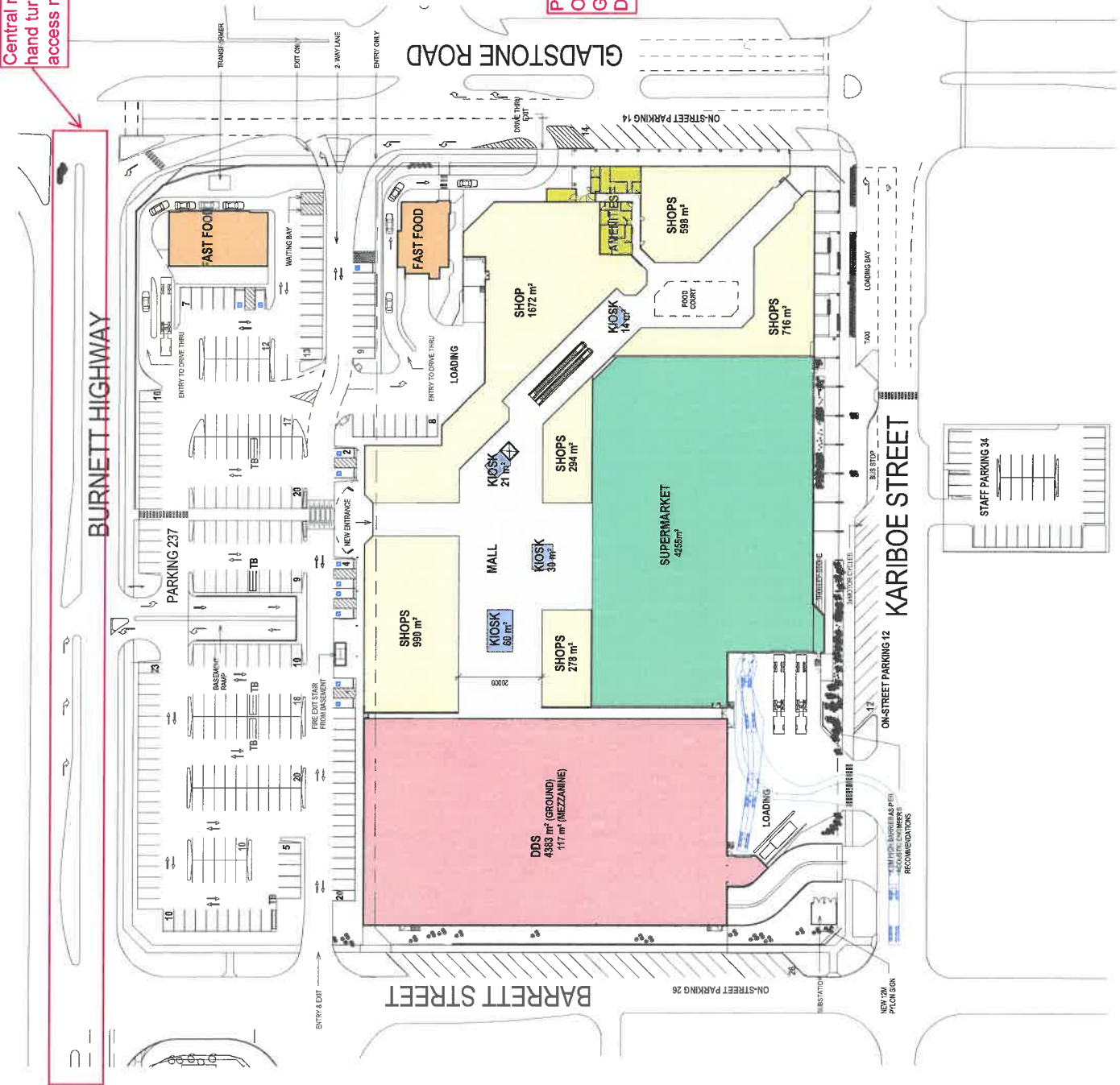
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REV.	DATE	DETAILS	BY	CHKD
1	15/07/2015	ISSUE	DAVID	DAVID
2	15/07/2015	REVISION	DAVID	DAVID
3	15/07/2015	REVISION	DAVID	DAVID
4	15/07/2015	REVISION	DAVID	DAVID

DEVELOPMENT SCHEDULE	
SUPERMARKET	4255
DDS	4500
SPECIALTY SHOPS	4548
KIOSKS	125
EXISTING FOOD PREMISE	219
PROPOSED FOOD PREMISE	320
TOTAL GLA	13 967m²
CARPARKING	287
BASEMENT LEVEL	233
GROUND LEVEL	34
STAFF	52
ON STREET	22
CREDIT	22
(for carspaces paid for in previous expansion)	
CARS	620 CARS (4,500/100m ²)
MALL	2873m ²

Central median works and right hand turn into permitted road access not approved.

PLAN AMENDED BY DEPARTMENT OF INFRASTRUCTURE, LOCAL GOVERNMENT AND PLANNING DATE: 17 September 2015



1 GROUND PLAN
SCALE 1 : 500

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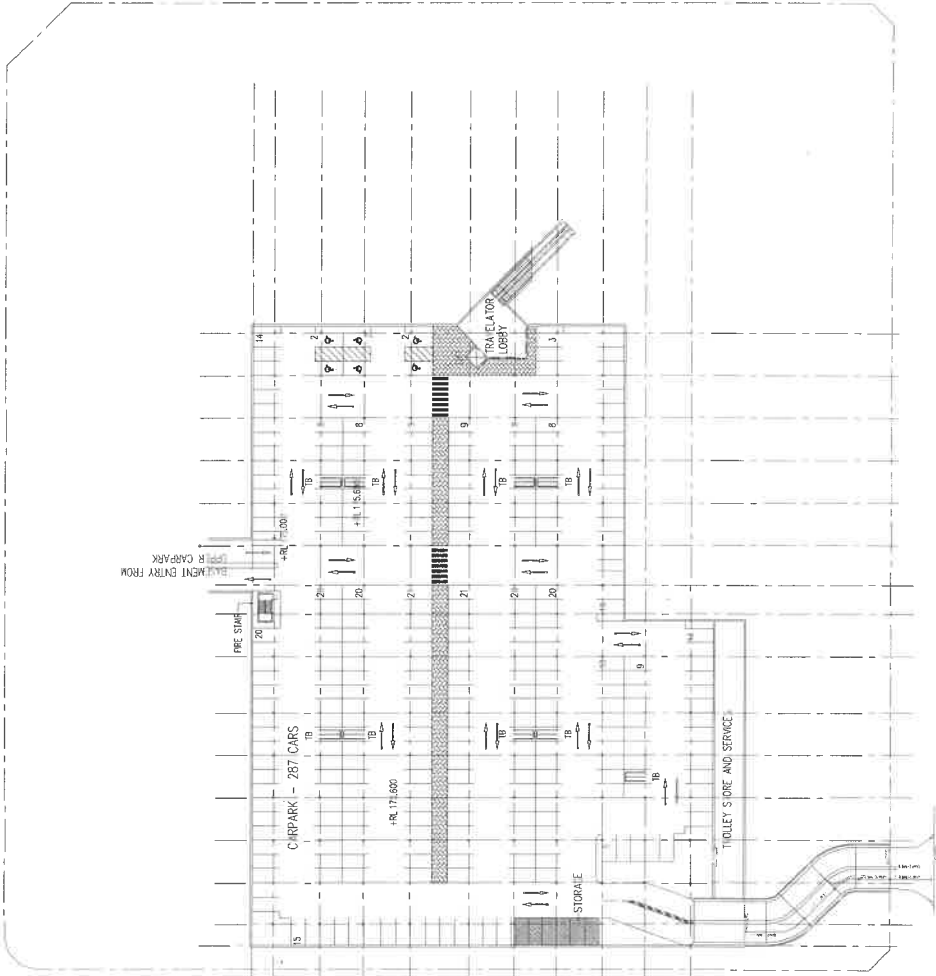
PROPOSED REDEVELOPMENT
BILOELA SHOPPINGWORLD

PROPOSED SITE PLAN

date:	15/07/2015
scale:	As indicated
drawn:	EB
checked:	Checker
verified:	Approver
product no.	7142
sheet no.	DA02
revision	P 4

PRELIMINARY

rev.	date	details	plac. int.
1	12/07/11	DR. ISSUE	CK
2	12/07/11	CONTRACT	CK
3	11/07/12	CHANGE INPUT	CK



NOTE:
SITE BOUNDARY TO BE CARRIED OUT TO CORNER
BOUNDARY AND EXISTING BUILDING LOCATIONS

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Thomson Adsett

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Fax: (07) 3866 3572
Email: info@thomsonadsett.com

**PROPOSED
REDEVELOPMENT**
for
BILOELA SHOPPINGWORLD

Project: **Corner of Kariboe St & Gladstone Rd, BILOELA**
PROPOSED BASEMENT PLAN

sheet

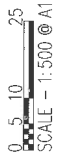
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drawn:	
checked:	
verified:	

7142
project no.

DA03
sheet no.

3
revision

Original Sheet Size A1 - 594 x 840mm



REV.	DATE	DETAILS	PAINT
1		STAGING PLAN	01

PROJECT: STAGING PLAN - STAGE 1

CLIENT: BILOELA SHOPPINGWORLD

PROJECT: BILOELA SHOPPINGWORLD

DATE: 10.03.2015

SCALE: 1:500

DRAWN: Author

CHECKED: Checker

VERIFIED: Approver

ST01 P1

7142

Original Sheet Size: A1 (841 x 1189)

PROJECT: BILOELA SHOPPINGWORLD

CLIENT: BILOELA SHOPPINGWORLD

DATE: 10.03.2015

SCALE: 1:500

DRAWN: Author

CHECKED: Checker

VERIFIED: Approver

ST01 P1

7142

Original Sheet Size: A1 (841 x 1189)

PROJECT: BILOELA SHOPPINGWORLD

CLIENT: BILOELA SHOPPINGWORLD

DATE: 10.03.2015

SCALE: 1:500

DRAWN: Author

CHECKED: Checker

VERIFIED: Approver

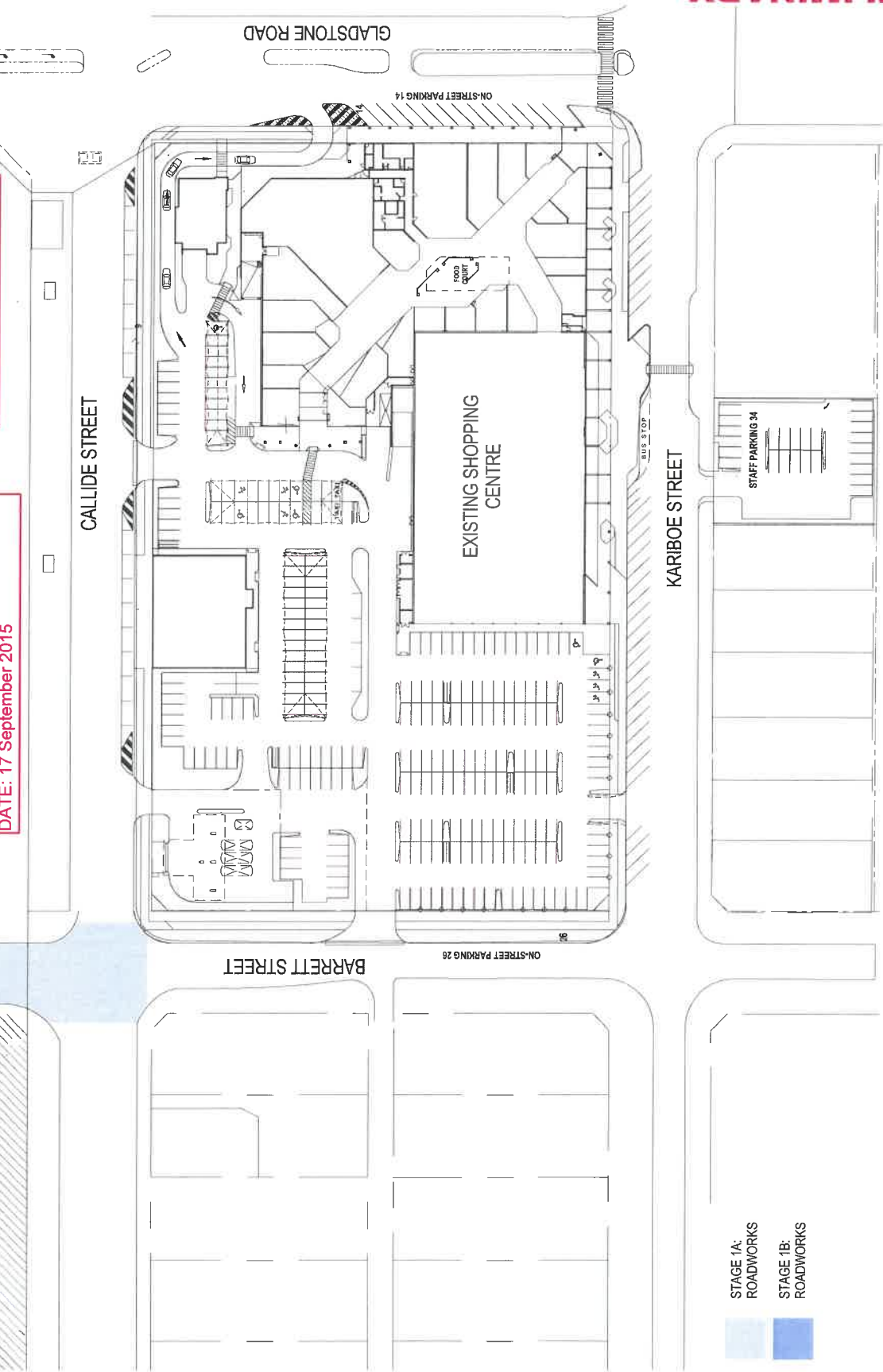
ST01 P1

7142

Original Sheet Size: A1 (841 x 1189)

PLAN AMENDED BY DEPARTMENT OF INFRASTRUCTURE, LOCAL GOVERNMENT AND PLANNING DATE: 17 September 2015

Central median works and right hand turn into permitted road access not approved.



PLAN AMENDED BY DEPARTMENT OF INFRASTRUCTURE, LOCAL GOVERNMENT AND PLANNING DATE: 17 September 2015

Central median works and right hand turn into permitted road access not approved.

- STAGE 1A: ROADWORKS
- STAGE 1B: ROADWORKS

1 STAGING PLAN
SCALE 1:500

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PROJECT: BILOELA SHOPPINGWORLD
REDEVELOPEMENT

CLIENT: BILOELA SHOPPINGWORLD

STAGING PLAN - STAGE 1



DATE: 10.03.2015

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CHECKED: Checker

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ST01 P1

7142

Original Sheet Size: A1 (841 x 1189)

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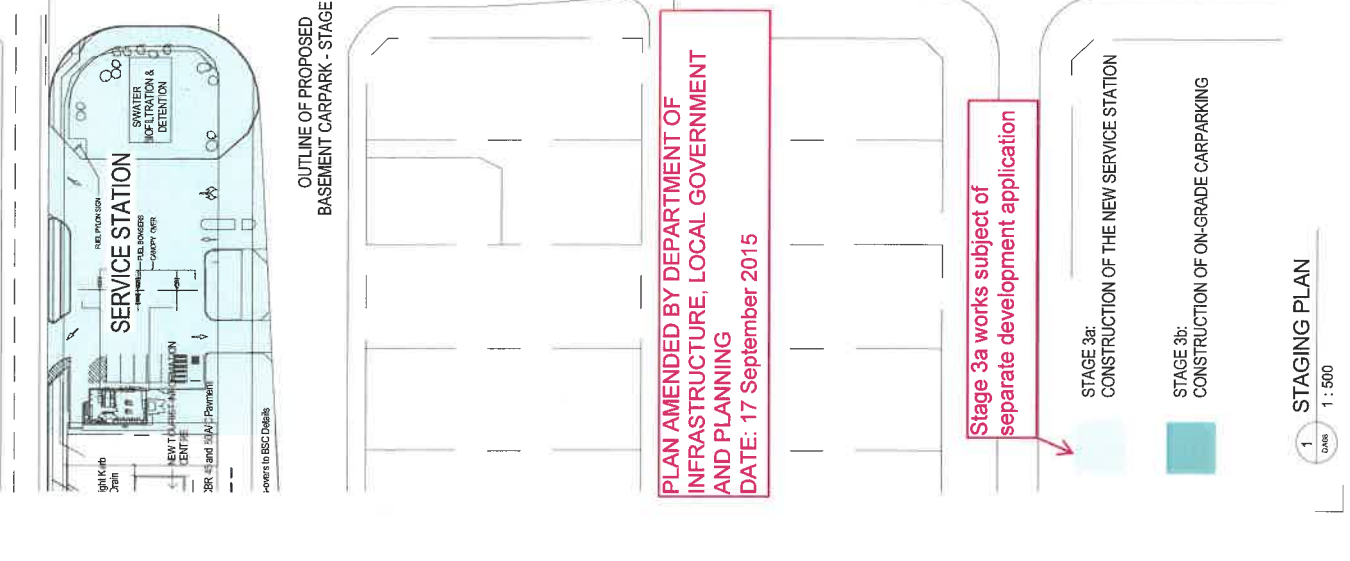
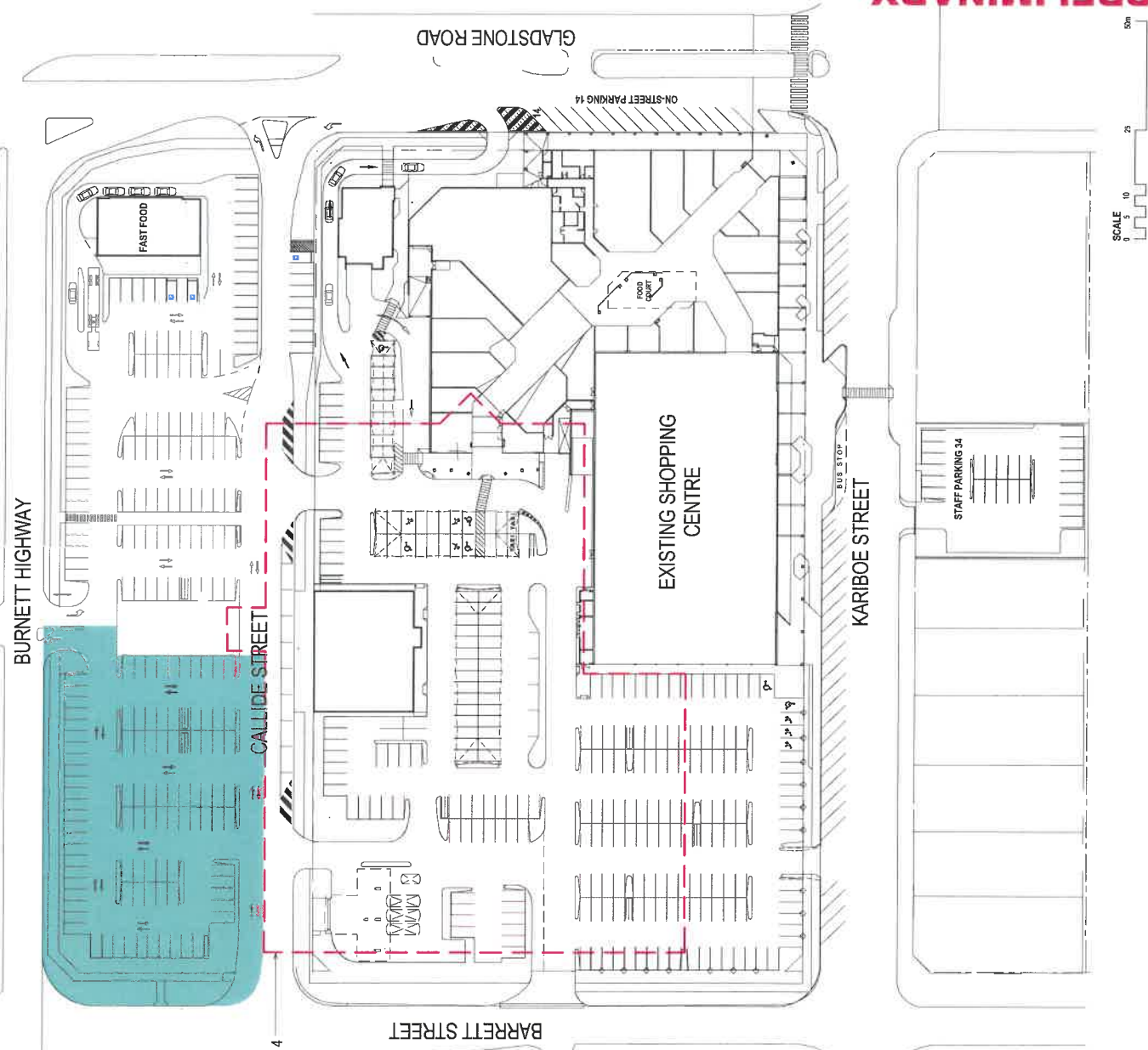
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STAGING PLAN - STAGE 3

DATE: 17 September 2015

STAGE 3a: CONSTRUCTION OF THE NEW SERVICE STATION

STAGE 3b: CONSTRUCTION OF ON-GRADE CARPARKING

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7142 project no. ST03 P1

10/03/2015 date

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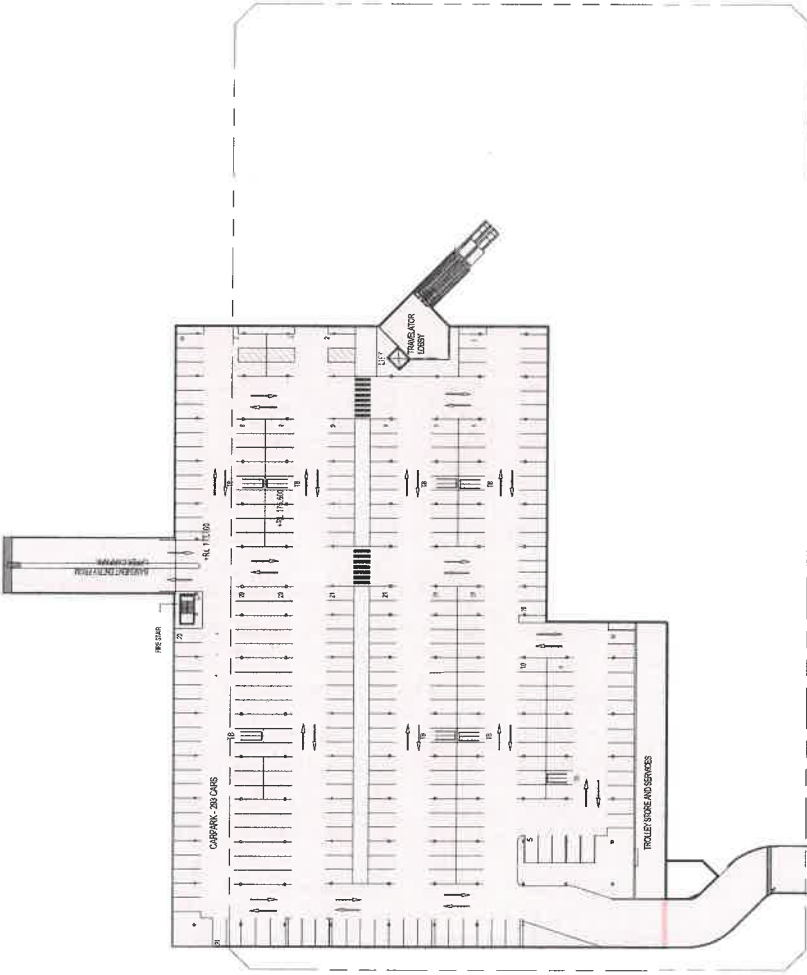
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STAGE 4A:
CONSTRUCTION OF PROPOSED SHOPPING
CENTRE BASEMENT CARPARKING

1 BASEMENT LEVEL - STAGE 4a

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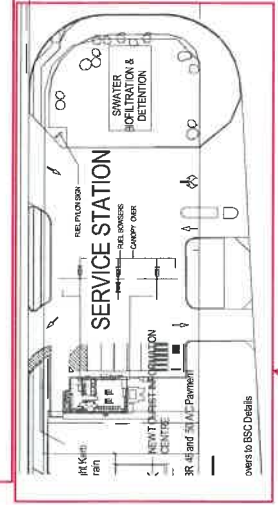
Project: **PROPOSED REDEVELOPMENT BILOELA SHOPPINGWORLD**

Client: **STAGING PLAN - STAGE 4A BASEMENT**

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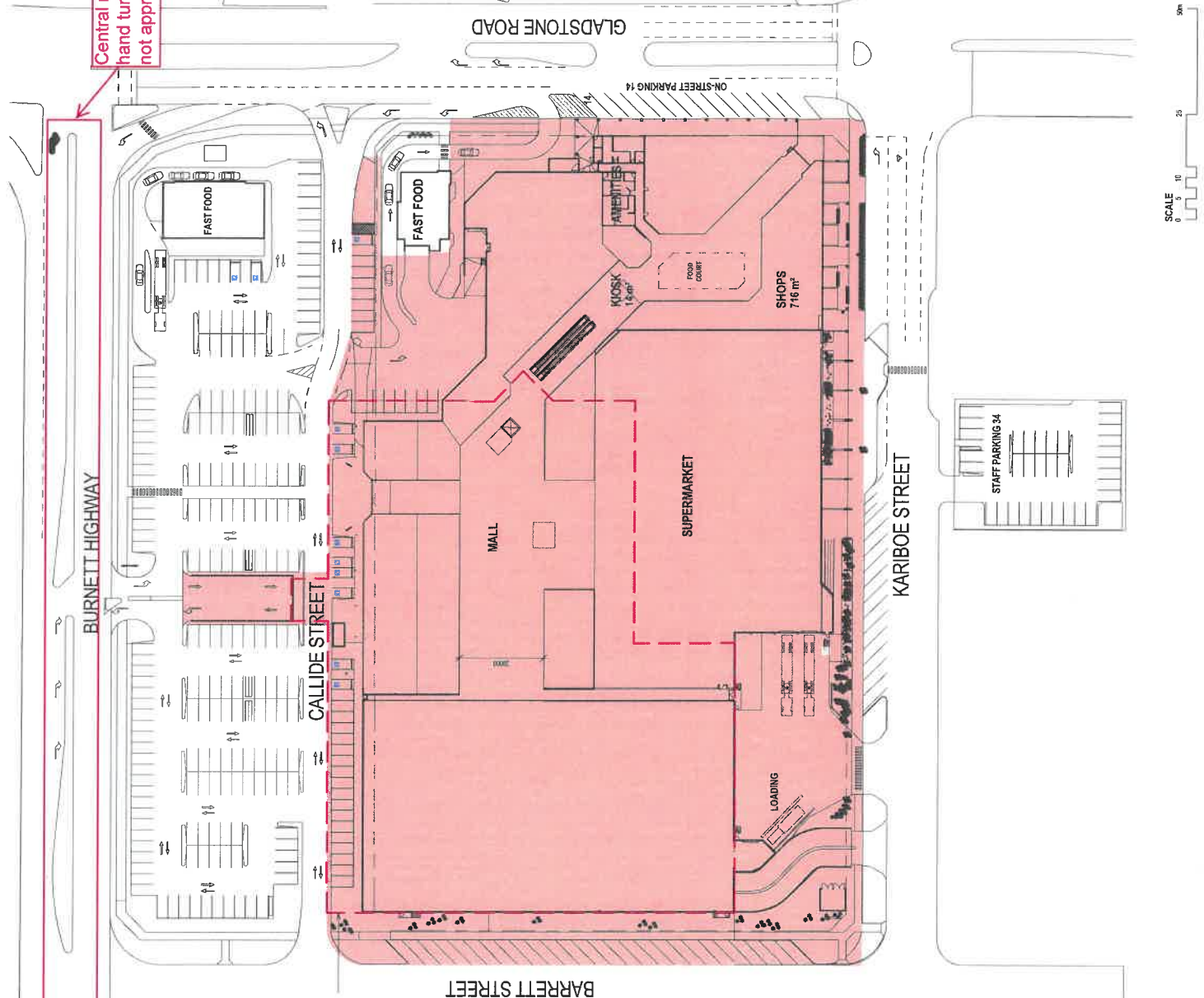


OUTLINE OF PROPOSED BASEMENT CARPARK - STAGE 4

Service station subject of separate development application

PLAN AMENDED BY DEPARTMENT OF INFRASTRUCTURE, LOCAL GOVERNMENT AND PLANNING
DATE: 17 September 2015

STAGE 4b:
CONSTRUCTION OF PROPOSED SHOPPING CENTRE EXPANSION & BASEMENT CARPARKING BELOW



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PROJECT
PROPOSED REDEVELOPMENT BILOELA SHOPPINGWORLD

DATE
STAGING PLAN - STAGE 4B

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PROJECT NO: 7142

PRELIMINARY

212102

29th September 2014

Site Based Stormwater Management Plan

for

Biloela Shoppingworld Extensions

at

2 Gladstone Road

Biloela QLD 4715

for

Biloela Square Pty. Ltd.

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Revision History

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2	DA Issue	31 st August 2012
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Site-Based Stormwater Management Plan
for
Biloela Shoppingworld
at
2 Gladstone Road, Biloela QLD
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1.0 INTRODUCTION

Farr Engineers Associates Pty Ltd (Farr Engineers) have been commissioned to prepare a *Site Based Stormwater Management Plan* to comply with the *Banana Shire Council (BSC) Planning Scheme* and associated development guidelines, to support a development application for the following.

- a) **Shopping Centre DA:** To extend the existing Biloela Shoppingworld, which incorporates additional land including part of Callide Street road reserve, the old Burnett Railway Corridor and Council Land; and
- b) **Service Station DA:** To relocate the existing Service Station to the south-east of the shopping centre site.

2.0 PROJECT UNDERSTANDING

The objective of this report is to indicate the likely levels of stormwater quantity discharge and associated pollutants discharging from the subject site during the operational phase, once the site is considered "off maintenance", and subsequently to prepare a Site Based Stormwater Management Plan in accordance with the following:

- *Banana Shire Council Planning Scheme and associated policies;*
- *Queensland Urban Drainage Manual; and*
- *Healthy Waterways Water Sensitive Urban Design Guidelines; and*
- *Department of Environment and Resource Management State Planning Policy for Healthy Waters*

The stormwater quantity analysis aspect of the SBSMP development has been undertaken using the *Extended Rational Method* model with the aid of the *DRAINS* computer software package.

Stormwater quality analysis development was addressed with pollutant export computer modelling. The software package *MUSIC* was utilised to identify stormwater pollutant runoff quantities and subsequently to develop a treatment train to meet expected stormwater quality targets.

3.0 SITE CHARACTERISTICS

3.1 *Location and Zoning*

The total development site (including the service station site) is approximately 3.5 ha and is located in the Biloela locality of the Banana Shire Council local government area. The existing shopping centre is currently zoned as Commercial Precinct under the planning scheme. However part of the proposed expansion area are zoned as Town Industrial Precinct. The developer is addressing this with Council in for the Shopping Centre DA. The shopping centre site is bounded by Gladstone Road (Dawson Highway) along the west, Barrett Street on the east, the Burnett Highway to the south and Kariboe Street to the north. The service station site is situated in the south-east corner of the existing shopping centre. The adjacent development to the east of the site is predominantly urban residential, to the north are commercial uses, and to the west and south are a range of industrial uses.



Figure 3.1: Locality Plan

Source: Google Maps (2012)

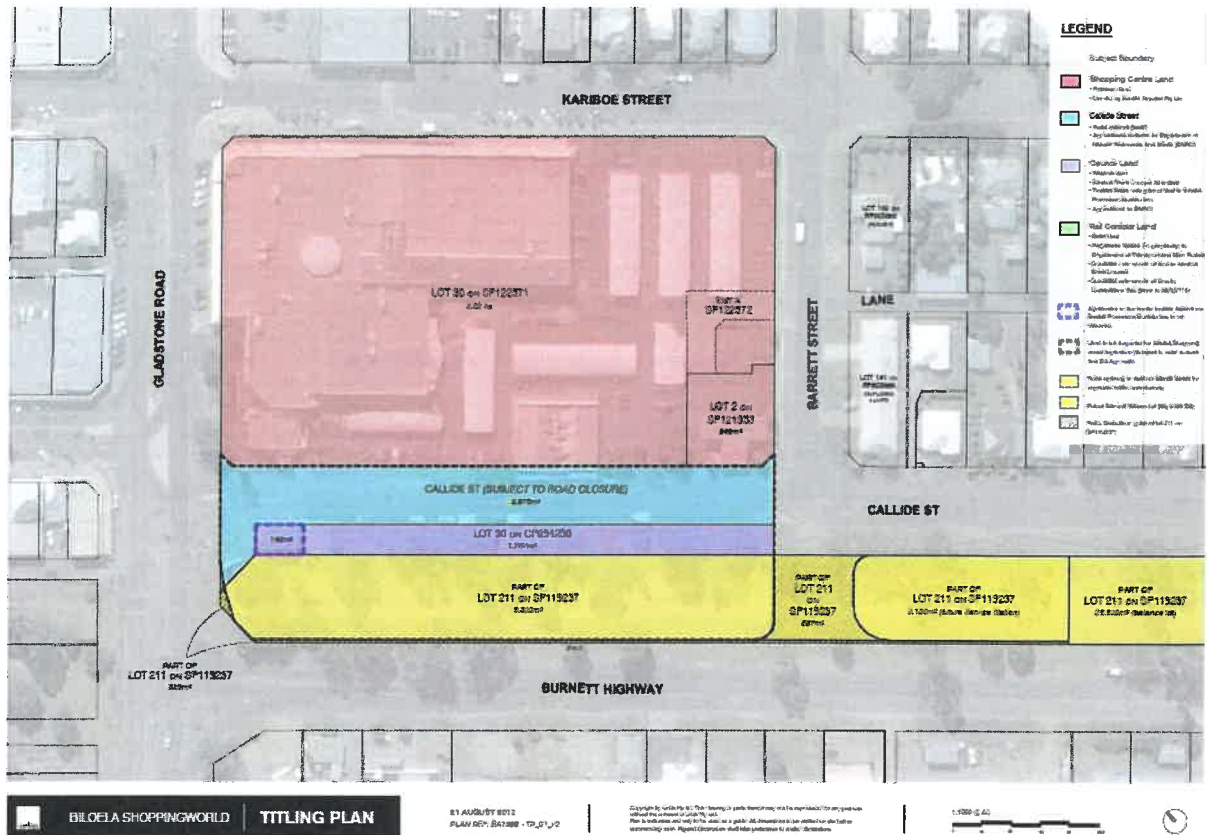


Figure 3.2: Titling Plan

3.2 Topography

The topography of the existing shopping centre site is of a general slope towards the south with the site drainage directed towards existing vacant industrial properties between Callide Street and the Burnett Highway. These sites fall slightly towards the south-east with overland runoff discharged into Brown's Gully. All proposed development areas will be modified (using cut and fill processes) during construction to establish platforms for buildings and carparking areas.

3.3 Existing Land Use

The current Biloea Shoppingworld site is occupied by buildings carpark and landscaping. The expansion areas include part of Callide St. road reserve, Council Land and the old Rail corridor which is largely vacant land..

3.4 Proposed Land Use

Two separate, but interlinked, development applications are proposed.

- a) **Shopping Centre DA:** To extend the existing Biloela Shoppingworld, to incorporate a DDS and additional Speciality Shops and stand-alone food premises, along with basement carparking and extended on-grade parking and hardstand areas for truck unloading.

- b) **Service Station DA:** To relocate the existing Service Station to the south-east of the shopping centre site.

It is also proposed to relocate the Tourist Centre and the Memorial Shelter to a new location with new facilities, subject to further negotiations with Council.

3.5 Soils

A geotechnical site investigation is yet to be undertaken for the subject site. An investigation will be undertaken prior to detailed design.

3.6 Vegetation

Most of the site is effectively free of significant vegetation, with short grasses and scattered trees of varying size and species in the Railway Corridor.

4.0 SITE CLIMATE

4.1 Rainfall

The *Bureau of Meteorology* classifies the Site climate as **Inland Sub-Tropical**¹ with storms in spring and early summer, and with the majority of rainfall occurring from January to April.

5.0 DESIGN RAINFALL AND RUNOFF

5.1 Design Rainfall - Intensity Frequency Duration

The *Intensity-Frequency-Duration* (IFD) relationship has been developed for Biloela based on Australian Rainfall and Runoff². The curves were developed using the program *AUS-IFD Program*.

The frequency analysis of rainfall data is an important part of hydrological design procedures. These IFD design rainfall curves are used as input to determine hydrologic and hydraulic behaviour for both pre-developed and post-developed catchments. The IFD curves extend from five (5) minutes to seventy-two (72) hours and Average Recurrence Intervals (ARI) from one (1) year to one-hundred (100) years.

The above design rainfall information has been used to estimate runoff peak flows and volumes for performance assessment of proposed drainage pipes and structures including detention facilities.

I F D Curve for Biloela, Qld

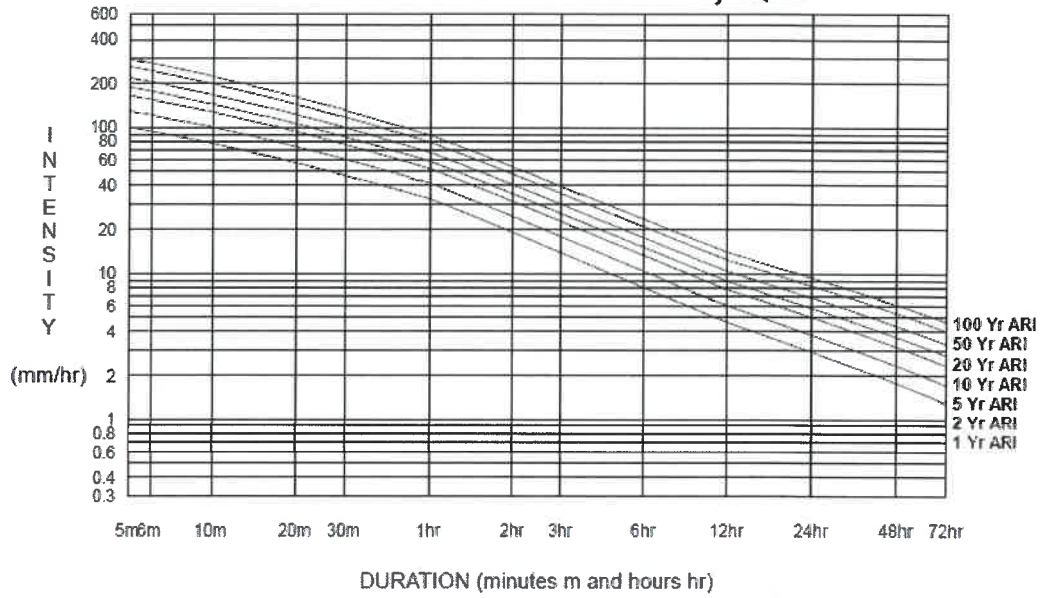


Figure 5.1: Biloela Intensity-Frequency-Duration Curves

6.0 STORMWATER DRAINAGE DESIGN & QUANTITY ANALYSIS

The proposed stormwater drainage system for the development has been designed as shown on Farr Engineers 212102-CSK concept drawings. A conventional stormwater drainage system is proposed with end-of-line treatment for mitigation of increased runoff quantities and quality impacts due to proposed development.

The end-of-line treatment will take the form an in-ground detention tank which will accept all of the shopping centres runoff. The tank will then discharge its flows to a new piped drainage system that will discharge into a bio-retention system further downstream in the proposed Service Station site. The stormwater treatment area will incorporate a bio-retention basin with some detention component. The entity owning the Shopping Centre will maintain easement rights for maintenance responsibility over the Bioretention Basin area on the Service Station lot. Further details of the bio-retention component will be discussed in the following chapter. This area will ultimately discharge to Brown's Gully further to the south-east.

The design was undertaken in accordance with the *Queensland Urban Drainage Manual (QUDM)* and *AS/NZS 3500.3 Stormwater Drainage* for private stormwater and roofwater drainage.

The strategy to address intensifying runoff from an un-developed site and potentially providing an adverse affect on downstream infrastructure is to implement and maintain on-site detention during the in-service phase of the development. By supplementing the stormwater drainage system with detention storage and releasing the increased runoff at rates which are equal to or below the corresponding pre-developed flow rates for the corresponding storm event, then the risk of imposing a detrimental affect on existing infrastructure is essentially mitigated. This is the primary basis of the stormwater drainage quantity analysis and its assessment.

In order to demonstrate that the proposed stormwater drainage system for the new development will satisfy the requirements of the local authority, computer models were used to undertake rigorous design and analyses. DRAINS was used for the purpose of hydrologic modelling and particularly for the analysing the performance of the proposed on-site detention facility.

6.1 Stormwater Drainage Hydrologic Analysis

Hydrologic analyses of the proposed stormwater drainage have been undertaken in a software package called *DRAINS*. Details regarding the methodology and associated parameters and selection criteria used in the calculations undertaken by the program are discussed and detailed below.

- **Hydrologic Model** – Extended Rational Method (ERM). An amalgamation of the ILSAX and Rational models which may be considered a 'quasi-unsteady' model which utilizes the time-area method of runoff-routing but determines losses with a composite runoff coefficient similar to the Rational Method (refer to *Appendix C Extended Rational Method Note*);
- **Impervious C₁₀ Value** – 0.90 (as recommended by *DRAINS User Guide*);
- **Pervious C₁₀ Value** – 0.55 (calculated using Equation 14.12 from *Australian Rainfall & Runoff 1987*);
- **Loss Model** – ERM Method – Intensity x (C-1) (refer to *Appendix C Extended Rational Method Note*);
- **Time of Concentration (Pre-Developed)**: Kinematic Wave Equation for Overland Sheet Flow

$$t_c = 6.94 [(Ln)^{0.6}] / [I^{0.4} \cdot S^{0.2}]$$

where t_c is time in minutes, L is flow path length, n is Manning's roughness value, I is the rainfall intensity for the relevant storm event, and S is slope of flow path). Minor channels/rills were ignored and assumed to be part of sheet flow path which provides a larger t_c . This is considered conservative particularly when comparing a pre-developed catchment to a post-developed catchment for on-site detention analysis.

- **Time of Concentration (Post-Developed)** – Standard Inlet times as per Table 4.06.1 of *QUDM Volume 1, 2nd Ed*. In the un-developed areas, the above-mentioned method for determining the pre-developed time of concentration was used.

To ensure that the pre-developed hydrologic quantities are maintained, on-site detention facilities were utilised and tested within the *DRAINS* software to determine the required detention volume. Table 6.1 details what is proposed in relation to on-site detention to address stormwater hydrologic quantity issues associated with the proposed development.

Table 6.1 On-Site Detention Details

Details	OSD A	OSD B
Type	In-ground Tank	Open Basin
Catchment Size	3.312 ha	3.493 ha
Detention Volume	600 kL	570 kL
Low-Level Outlet Control Type	Outlet Pipe	Orifice + Outlet Pipe
Low-Level Outlet Control Size	Ø600 Orifice	Ø600
High-Level Outlet Control Type	Slot in Tank Wall (Weir)	Spillway (Weir)
High-Level Outlet Control Size	3.5m	5m

The above-stated on-site detention facility details were input into the proposed stormwater drainage system within the DRAINS software. The analysis yielded generally successful output with the drainage network successfully discharging lower flow rates when compared directly to the pre-developed flow rates. Tables 6.2 to 6.5 below provide a direct comparison of a series of storm durations for given ARIs assessed, and the highest peaks within both the pre-developed and post-developed scenarios determined and compared. It should be noted that the analysis within DRAINS was set up to have both the pre-developed and post-developed model analysing simultaneously within the same model for easy comparison.

Table 6.2 2-Year ARI Total Outflows

<i>Storm Duration</i>	<i>Pre-Developed 2-Year ARI Peak Discharge (m³/s)</i>	<i>Post-Developed 2-Year ARI Peak Discharge (m³/s)</i>
5 minutes	0.533	0.066
15 minutes	0.664	0.206
30 minutes	0.670	0.283
45 minutes	0.604	0.305
1 hour	0.625	0.323
2 hour	0.470	0.269
4.5 hours	0.285	0.194
Peak Flow	0.670	0.323

Table 6.3 10-Year ARI Total Outflows

<i>Storm Duration</i>	<i>Pre-Developed 10-Year ARI Peak Discharge (m³/s)</i>	<i>Post-Developed 10-Year ARI Peak Discharge (m³/s)</i>
5 minutes	0.911	0.183
15 minutes	1.140	0.434
30 minutes	1.130	0.526
45 minutes	1.000	0.526
1 hour	1.040	0.550
2 hour	0.790	0.500
4.5 hours	0.484	0.406
Peak Flow	1.140	0.254

Table 6.4 20-Year ARI Total Outflows

<i>Storm Duration</i>	<i>Pre-Developed 20-Year ARI Peak Discharge (m³/s)</i>	<i>Post-Developed 20-Year ARI Peak Discharge (m³/s)</i>
5 minutes	1.110	0.237
15 minutes	1.380	0.533
30 minutes	1.380	0.718
45 minutes	1.220	0.687
1 hour	1.260	1.040
2 hour	0.960	0.554
4.5 hours	0.589	0.467
Peak Flow	1.380	1.040

Table 6.5 100-Year ARI Total Outflows

<i>Storm Duration</i>	<i>Pre-Developed 100-Year ARI Peak Discharge (m³/s)</i>	<i>Post-Developed 100-Year ARI Peak Discharge (m³/s)</i>
5 minutes	1.590	0.363
15 minutes	1.830	1.430
30 minutes	1.800	1.650
45 minutes	1.630	1.480
1 hour	1.670	1.770
2 hour	1.210	1.190
4.5 hours	0.745	0.548
Peak Flow	1.870	1.460

7.0 IN SERVICE WATER QUALITY

7.1 *Pollutants of Concern and Water Quality Modelling*

The concentration and loading of pollutants to surface water may be estimated by many methods. A requirement of most local authorities is that stormwater quality management plans be developed based on an acceptable method of pollutant export modelling and/or numerical analysis for new developments. Such pollutant modeling predicts the likely water quality emanating from a catchment and the performance of specific stormwater treatment measures. This pollutant evaluation can be compared with performance targets that have measurable long-term goals for the quality of receiving waters such as *Water Quality Objectives* (WQOs). WQOs enable stormwater asset owners to minimise the impacts on receiving waters from changes in land use and land management. The pollutants of interest are gross pollutants, hydrocarbons, and heavy metals. The modelling of these pollutants may be defined as a targeted pollutant encompassed by the analyte Total Suspended Solids (TSS). This is discussed in *Section 7.4*. Nutrients such as phosphorous and nitrogen are also of interest.

The pollutant export modelling of the proposed development was performed in accordance with the *WaterbyDesign MUSIC Modelling Guidelines (2010)*. This modelling approach consisted of numerical analysis using the computer-based program *Model for Urban Stormwater Improvement Conceptualisation* (MUSIC) to assess the performance of proposed stormwater quality improvement devices against simulated catchment runoff.

7.2 *Receiving Waters*

The receiving water for stormwater discharge from is Brown's Gully.

7.3 *Performance Targets*

Council requires the following load-based reduction targets for development sites. The performance targets are outlined reproduced in Table 7.1 below:

Table 7.1: Water Quality Targets for Development Sites

<i>Parameter</i>	<i>State Planning Policy Appendix 3 Table B Water Quality Objectives</i>
Total Suspended Solids	80% of average annual load retained.
Total Phosphorous	60% of average annual load retained.
Total Nitrogen	45% of average annual load retained.
Gross Pollutants	90% of average annual load retained.

7.4 Modelling Assumptions

In order to assess and quantify the reduction of gross pollutants, hydrocarbons and heavy metals, a discussion is required to define "gross pollutants" and to determine which contaminants are associated with sediment.

7.4.1 Gross Pollutants

Gross pollutants have been defined as any solids that are retained by a 5 mm mesh screen by Allison et al. (1998) and this definition is adopted in the computer based program MUSIC.

7.4.2 Contaminants Associated with Sediment

It is well recognised that a significant amount of metals and nutrients (such as nitrogen and phosphorous) are transported as sediment-bound contaminants. Many investigations have found the concentrations of sediment-bound contaminants in street dirt to be associated with the fine particle size fraction. Pitt and Amy (1973), NCDNRCD (1993) and Woodward-Clyde (1994) have each shown that higher concentrations of pollutants such as heavy metals are associated with the smallest particle size fractions of urban dust and dirt. These data indicate that almost half of the heavy metals found on street sediments are associated with particles of 60 to 200 microns (μm) in size and 75% are associated with particles finer than 500 μm in size. Sansalone et al. (1997), Fergusson and Ryan (1984), and Baker (1980) each reported that heavy metal concentrations increase with decreasing particle size. Ball and Abustan (1995) reported, based on limited sampling of sediment in street runoff in Australia, that 70% of particles are less than 125 μm compared to 20% for data collected overseas data.

The sediment binding behaviour of other toxicants such as hydrocarbons is different to that of heavy metals. Schorer (1997) reported hydrocarbons have no correlation with particle size distribution or surface area but rather with the abundance of organic material. Concentrations of hydrocarbons would therefore be expected to be attached to organic particle size fractions.

7.5 Model Development and Proposed Treatment Train

In order to assess the effects on urban water quality that may result from the subject site, the post-developed site was modelled in MUSIC in accordance with the *WaterbyDesign MUSIC Modelling Guidelines (2010)*.

A description of the proposed drainage strategy modelled in MUSIC is discussed below. Model inputs are discussed later in this section:

- **Discharge from Shopping Centre** – The shopping centre catchments will be collected into an in-ground detention tank and released into a piped system which will discharge to a dedicated open space stormwater treatment area in the Service Station site. The system will take the form of a bio-retention basin where flow will be accepted, treated and discharged via pipe and overland flow to Brown's Gully;
- **Discharge from the Service Centre** – Runoff from the service centre will conveyed via piped and controlled overland surface drainage to discharge into the same bio-retention basin accepting the shopping centre discharge.

Minor flows will then be discharged to Brown's Gully via a piped drainage system, with major flows running as currently as overland flows on the road network and the balance of the railway corridor east of the proposed Council Tourist centre and Memorial site

The proposed tourist centre and associated open space has not been incorporated into the analysis.

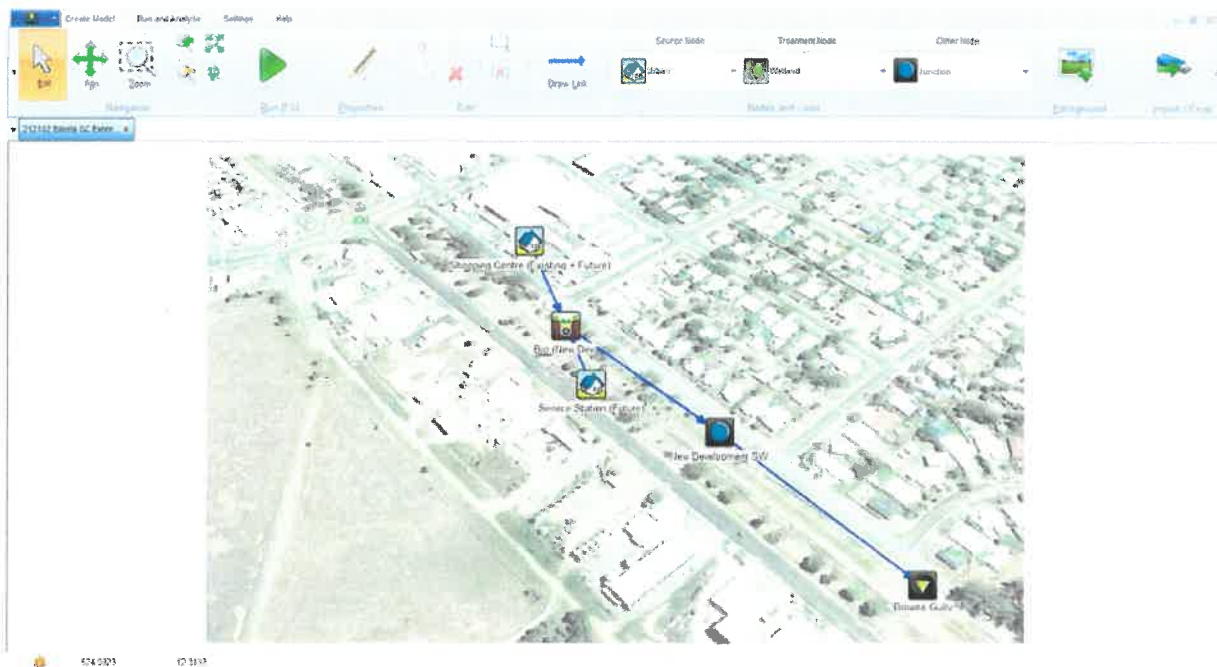


Figure 7.1: MUSIC Model Layout

MUSIC models the proposed treatment train as a series of 'source,' 'intermediate' and 'receiving' nodes. In this instance the source nodes are sub-catchments determined from proposed surface topographical analysis, the receiving node the existing drainage channel, and the intermediate nodes are drain line outlets, tanks and treatment devices. The treatment train source nodes (catchments nodes) were modelled as either commercial or industrial catchments in accordance with the *WaterbyDesign MUSIC Modelling Guidelines (2010)*. The catchments were defined by the type of land use and likely pollutant concentration expected when discharged. The source node parameters used have been re-tabulated below:

Table 7.2: Source Rainfall Runoff Parameters

Parameter	Commerical	Industrial
Rainfall Threshold [mm]	1	1
Soil Capacity [mm]	18	18
Initial Storage [% of capacity]	10	10
Field Capacity [mm]	80	80
Infiltration Capacity Coefficient a	243	243
Infiltration Capacity Coefficient b	0.6	0.6
Initial Depth [mm]	50	50
Daily Recharge Rate [%]	0	0
Daily Drainage Rate [%]	31	31
Daily Seepage Rate [%]	0	0

Table 7.3 – Source (Commercial) [Log10 mg/L]

Flow Type	TSS		TP		TN	
	Mean	St. Dev.	Mean	St. Dev.	Mean	St. Dev.
Base Flow	0.780	0.390	-0.600	0.500	0.320	0.300
Storm Flow	2.160	0.380	-0.390	0.340	0.370	0.340

Table 7.4 – Source (Industrial) [Log10 mg/L]

Flow Type	TSS		TP		TN	
	Mean	St. Dev.	Mean	St. Dev.	Mean	St. Dev.
Base Flow	0.780	0.450	-1.110	0.480	0.140	0.200
Storm Flow	1.920	0.440	-0.590	0.360	0.250	0.320

A bio-retention system is essentially a dedicated zone of media filter which removes stormwater pollutants through a combination of passive filtration and biological uptake of nutrients through vegetal chemical processes. The bio-retention basin was sized based on the performance curves provided in the *Healthy Waterways Water-Sensitive Urban Design (WSUD) Technical Guidelines*. Details for the adopted bio-retention basins as modeled in MUSIC are provided below:

Table 7.6 – Bio-Retention Basin

Basin Property	
<i>Low-Flow Bypass [m³/s]</i>	0
<i>High-Flow Bypass [m³/s]</i>	Q100 Flows for respective catchments Bio (New Dev) = 2.862 m ³ /s
<i>Extended Detention Depth [m]</i>	0.2
<i>Surface Area [m²]</i>	Bio (New Dev) = 450 m ²
<i>Seepage Loss [mm/hr]</i>	0
<i>Filter Area [m²]</i>	Bio (New Dev) = 450 m ²
<i>Filter Depth [mm]</i>	0.4
<i>Filter Media Particle Diameter [mm]</i>	0.45
<i>Saturated Hydraulic Conductivity [mm/hr]</i>	180
<i>Drainage Layer Depth [m]</i>	0.2
<i>Transition Layer [m]</i>	0.1
<i>TN Content (mg/kg)</i>	800
<i>Organic Material in Filter</i>	>5%
<i>Orthophosphate Content in Filter Media (mg/kg)</i>	<55
<i>Base Lined (Y/N)</i>	Y
<i>Vegetation with Effective Nutrient Removal Plants (Y/N)</i>	Y
<i>Overflow Weir Width (m)</i>	Bio (New Dev) = 6.4 m
<i>Underdrain Present (Y/N)</i>	Y
<i>Submerged Zone (Y/N)</i>	N

Model Results

The modelled annual runoff volume of the site was based on *Biloela Station 39006 Annual Rainfall* for a 6-minute data time step. The modelling showed that the development produced the following annual pollutant loads and reductions achieved with the selected treatment devices produced by the system over the modelled duration as shown below.

Table 7.7 compares the results to the MUSIC model against the best practice targets, wherein the % reduction is achieved by the on-site treatment trains.

Table 7.7: MUSIC Treatment Train Effectiveness for Browns Gully

	Sources	Residual Lq	% Reductio
Flow (ML/yr)	18.0	17.2	4.4
Peak Flow (m3/s)	1.80	1.78	1.5
Total Suspended Solids (kg/yr)	3.90E3	718	81.6
Total Phosphorus (kg/yr)	10.0	3.32	66.8
Total Nitrogen (kg/yr)	57.2	31.4	45.1
Gross Pollutants (kg/yr)	513	0.00	100.0

In addition to the above, the reduction in Hydro-Carbon discharge (although bound to different particles) is generally in line with the reduction in TSS i.e. around 90%. Overall, the proposed treatment trains provide the ability to meet the best practice water quality objectives.

8.0 CONSTRUCTION EROSION AND SEDIMENT CONTROL

8.1 Objectives

Additional erosion and sediment controls will be employed during the construction phase of the project. This chapter will detail the management of erosion, sediment and temporary drainage. Detailed will be provided as part of a future operational works application.

The objectives of SBSMP during the construction phase of development are to:

- minimise the probability of on-Site erosion; and
- reduce and limit sediment discharged from the Site.

These objectives will be achieved during construction, by using various erosion and sediment control systems and procedures to minimise runoff from construction areas.

The following objectives and criteria should be incorporated when setting out erosion and sediment controls.

Minimise Disturbance

- Minimise areas and duration of disturbance by stripping, grading and filling;
- Retain vegetation and soil cover for as long as possible;
- Minimise broad area clearing of vegetation and topsoil; and
- Stage earthworks within a work area to minimise areas of exposed soil at any one time.

Drainage Control

- Divert uncontaminated or "clean" water around areas of disturbance and sediment;
- Maintain non-eroding velocity in all artificial channels, or alternatively line channels to prevent erosion of underlying soils; and
- Ensure that channels are constructed to carry the design storm capacity.

Erosion Control

- Minimise raindrop impact to exposed soil areas by using soil cover materials;
- Control sheet erosion by using sediment/silt fences along contours;
- In areas of high silt/clay content concentrate on erosion control;
- In areas of high sand content concentrate on sediment control; and
- Re-vegetate and landscape an area as soon as possible.

Revegetation/Stabilisation

- Rapid stabilisation and/or revegetation of exposed soils at final grade; and
- Place stockpiles away from areas of concentrated flow.

Sediment Control

- Reduce water flow to non-eroding velocity or alternatively reinforce underlying soil to prevent erosion; and
- Discharge treated water via stable outlet structures or to vegetated areas.

Maintenance and Review

Appropriate maintenance of all erosion and sediment control measures to maintain full effectiveness of the system.

8.2 Temporary Erosion and Sediment Control

Temporary erosion and sediment controls during construction will be required. The controls that are suitable to this site are described as follows.

8.2.1 Access - Entrance/Exit

To remove any soil, mud and/or debris from vehicles accessing the site, rock pad construction exits/entrances will be constructed. However, these pads will not be used as a vehicle wash down area.

8.2.2 Stockpiles and Large Areas of Bare Soil

All stockpiles and large areas of bare soil must have sediment fences placed on the downslope side. Only woven fabric sediment fences are to be used based on the likely duration of this project.

8.2.3 Inlets to Stormwater Water Drainage System

Sediment barriers shall be placed around the stormwater drainage system inlets. These can consist of gravel or cloth filter with sandbags. These sediment barriers function by temporarily ponding runoff allowing suspended sediment to settle before entering the gully and stormwater drainage system.

Grassed filter strips with a minimum width of 600 mm can be placed directly behind kerb and channel to treat overland flow runoff. The strip works by filtering runoff from disturbed land before it flows on the road and into the stormwater system.

8.2.4 Erosion Control Measures

Event	Activity
Prior to vegetation disturbance or earthworks activity	Construction of temporary retardation basins downslope of areas subject to disturbance (i.e. in a band parallel to the waterway corridor) to remain effective while site clearing and earth platform construction are in progress.
Commencement of construction	<p>Installation of silt fences using appropriate geotextile mesh or other material between the creek and earthworks, to capture all eroded material.</p> <p>Use of other mechanisms such as hay bales, rip-rap, drop structures, sediment traps and soil stabilisation techniques, to reduce runoff velocity and scour potential (particularly at creek bank discharge points), and further prevent sediment transport from the site.</p> <p>Construction of low earth bunds around the upstream side of any working area, so as to divert upstream drainage around the site.</p>
During vegetation clearing and earthworks	<p>Clearing of vegetation with a minimum of soil attached; on-site mulching or removal to a nearby off-site area for mulching.</p> <p>Stockpiling and stabilization of excavated topsoil to prevent erosion.</p> <p>Prompt covering with mulch and/or revegetation to minimise area of bare disturbed ground at any time.</p>
After completion of earthworks	<p>Revegetation and stabilisation of affected areas using earthworks stockpiled topsoil, so as to prevent erosion and sediment transport.</p> <p>Regular checking of discharge points for scour, repair of structures and effectiveness in prevention/reduction of creek erosion and siltation, especially after heavy rain and/or flooding.</p> <p>Check that the downstream Detention Basin/Bio-retention Basin has not been silted up as the result of the construction activities.</p>
After completion of building works	<p>Diversion of runoff and vegetation of overland flow paths and Filter strips to eliminate ongoing erosion; plus regular maintenance and monitoring as above.</p> <p>Removal of weeds, checking/repair of irrigation, clearing of sediment traps and other routine maintenance Recheck that the downstream Detention Basin/Bio-retention Basin has not been silted up as the result of the construction activities.</p>

All runoff from disturbed areas of the site during the construction phase shall be collected in temporary sediment basins for settling and/or appropriate treatment prior to discharge to watercourses. Where necessary, sediment shall be removed by settlement or appropriate chemical treatment.

A screen shall be located between each construction site and its sediment basin to collect debris. Collected sediment may be used in landscaped areas.

The staging requires the following works sequence.

- Stage 1: Install Silt fence on site boundary with roads.
 Construct swale to low side site.
 Install lined earth bund inside of swale.
 Construct sediment detention basin and spillway.
 Construct entry/exit shakedown.
- Stage 2: Carry out cut and fill operation ensuring site falls towards sediment basin.
 Ensure lined earth bund against retaining wall is 500mm min above filling level.
 Maintain sediment basin; treat inflows after rain; discharge to drainage channel once
 Water Quality Targets achieved
- Stage 3: Install permanent stormwater lines and protect pit entries/stormwater line at discharge
 to the stormwater system to have all gullies with block and aggregate protection and
 covered with geofabric.
 Direct water from stormwater lines to sediment basin from this line to be monitored
 and inlets sealed if sediment entering drain.
- Stage 4: Connect roofwater discharge direct to stormwater lines.
 Construct bio-retention basin.
 Maintain protection to stormwater gully pits.
 Once bio-retention basin established and all roofwater lines connected decommission
 sediment basin and direct runoff into basin.
 Complete pavement sealing and remove pit protection.

Permanent control measures shall be provided as soon as possible after completion in each construction area. Permanent measures to be adopted for the project include:

- revegetation and engineering stabilisation of disturbed areas;
- use of existing drainage lines and gullies to carry stormwater runoff; retention of natural vegetation where possible within drainage lines to the basin prior to discharge to the stormwater system; and
- monitor closely water quality discharge and maintain local sediment controls to all exposed areas of soil.

Checklist To be filled out Weekly

		Yes	No	Comments
Item	Inspection Description			
1	Sediment Basin			
1.1	Has the sediment basin detailed in the ESC program been installed on site?			
1.2	Do the basin batters have adequate protection from erosion (i.e. erosion control mats/mulching and grass seeding etc)?			
1.3	Is erosion evident at the basin inlet, outlet and/or the emergency spillway?			
1.4	Is there evidence of erosion downslope of the basin?			
1.5	Is the water being pumped/siphoned from the basin only once suitable water quality has been achieved?			
1.6	Does the basin require cleaning (i.e. has sediment reached the line shown on the yardstick in the basin)?			
1.7	Is there anything else that should be addressed?			
2	Rock Filter Spillway			
2.1	Has the rock filter spillway detailed in the ESC program been installed on site?			
2.2	Is the dam in need of cleaning/ replacement (i.e. does the gravel/rocks appear clogged)?			
2.3	Is there anything else that should be addressed?			
3	Sediment Detention Ponds			
3.1	Have the sediment ponds detailed in the ESC program been installed on site?			
3.2	Is erosion evident in-or around the sediment ponds?			
3.3	Is there anything else that should be addressed?			
3.4	If required, is the water being pumped/ siphoned from the ponds only once suitable water quality has been achieved?			
3.5	Is there anything else that should be addressed?			
4	Sediment Fences			
4.1	Have the sediment fences detailed in the ESC program been installed on site?			
4.2	Has the fence been buried sufficiently to stop stormwater runoff migrating under the fence?			
4.3	Are the sediment fence posts spaced at a distance of approximately 1.5m apart (closer for higher volumes of flow)?			
4.4	Are any sections of fencing in need of cleaning/ replacement (i.e. are there any piles of sediment against sections of fence/ have any sections of fence been knocked down)?			
4.5	Is there anything else that should be addressed?			

5	Catch Drains			
5.1	Have the correct drains/ channels detailed in the ESC program been installed on site?			
5.2	Is any scouring/erosion evident along the drains/ channels used on site?			
5.3	Is there anything else that should be addressed?			
6	Chutes			
6.1	Have the temporary drop chutes detailed in the ESC program been installed onsite for the sub-soil stockpile?			
6.2	Have the chutes been sufficiently anchored down?			
6.3	Is water being channelled towards and down the drop chutes or is it bypassing the chutes (i.e. is any scouring evident along the sides of the drop chutes)?			
6.4	Is there anything else that should be addressed?			
7.	Level Spreader			
7.1	Has the level spreader detailed in the ESC program been installed on site?			
7.2	Is any erosion evident along and/or downslope of the level spreader?			
7.3	Is there anything else that should be addressed?			
8	Entry/Exit			
8.1	Has the entry/exit detailed in the ESC program been installed on site?			
8.2	Does the entry/exit require modification/ cleaning/ additional gravel (i.e. are there signs that vehicles are still tracking mud onto the road)?			
8.3	Is there anything else that should be addressed?			
9	Bund			
9.1	Has the bund detailed in the ESC program been installed on site?			
9.2	Is any erosion evident downslope of the log bund (i.e. does additional work need to be done to prevent concentrated flows of water through the logs)?			
9.3	Is there anything else that should be addressed?			
10	Mulching/ Seeding/ Revegetation			
10.1	Have the earthen batters and other areas shown in the ESC program been adequately mulched/seeded/revegetated and within the recommended time frames?			
10.2	Are all ESC measures in place until 70% ground coverage has been achieved for any seeded areas?			
10.3	Is there anything else that should be addressed?			
11	Erosion Control Mats			
11.1	Have the erosion control mats shown in the ESC program been installed on the rock batters?			
11.2	Is the geotextile mat secured at the top and bottom of each batter and does it wrap around the entire length of the batter?			
11.3	Is there anything else that should be addressed?			

Monitoring: The Contractor shall monitor construction and record details of all site drainage works and soil erosion control measures. The Contractor shall make regular site inspections including additional site inspections after flood or heavy rainfall events, and shall record details of any scour, soil erosion or sediment deposits, loss of plants etc. and advise on remedial work undertaken, as well as reporting on additional measures required or applied to prevent future occurrences.

Reporting: Monthly reporting by the Contractor to the Consultant covering all maintenance activities and corrective actions. (Copies to Council & Environmental Protection Agency (EPA) and Department of Natural Resources and Water).

Corrective Action: If vegetation growth fails in any area, vegetation is to be re-established, and the irrigation watering regime, planting density, weed management or other factors modified appropriately to prevent a repeat. Otherwise, corrective action will consist of replacement of damaged or failed control devices.

8.3 Removal of Temporary Erosion and Sediment Controls

The sediment barriers, construction entrance and exits and sediment fences are considered temporary erosion and sediment control measures and can be progressively phased out once the disturbed area contributing to the erosion has been rehabilitated.

9.0 MAINTENANCE PLANS

9.1 *Inspection Forms and Plans*

As built drainage drawings will be supplied to the local authority at the end of the construction phase to assist the local authority in the management of the assets. Digital copies of the maintenance form and maintenance plan will be supplied at the local authority's request so as this information may be entered into their asset register for the management and maintenance of all stormwater drainage infrastructure to be handed over.

9.2 *Responsibilities for Maintenance of Structural Controls*

It is understood that once developed, the Developer and/or their nominated Site Manager will become responsible for the maintenance of structural controls.

9.3 *Maintenance Frequency*

It is envisaged that all internal stormwater drainage infrastructure will be maintained on an annual basis. All maintenance is undertaken from the surface in response to modern confined space regulations and under normal conditions there is no need to enter any structure. Routine inspection should be carried out on a monthly basis. The purpose of the inspection is to check that the infrastructure is functioning correctly and to help determine when clean out of the devices is required.

9.4 *Maintenance Plant and Equipment*

No plants and/or equipment are required for maintenance.

9.5 *Bio-retention Basin Maintenance Requirements*

The bio-retention basins have a flood conveyance role that needs to be maintained to ensure adequate flood protection for the sites. Vegetation plays a key role in maintaining the porosity of the soil media of the bio-retention system and a strong healthy growth of vegetation is critical to its performance.

The most intensive period of maintenance is during the plant establishment period (first two years) when weed removal and replanting may be required. It is also the time when large loads of sediments could impact on plant growth, particularly due to runoff from newly established landscaping areas.

The potential for rilling and erosion down the basin component of the system needs to be carefully monitored during construction stage of the site. Other components of the system that will require careful monitoring are the inlet points, as these inlets can be prone to scour and cause the build up of litter and sediment. The stormwater system inlet pits also require routine inspections to ensure structural integrity and that they are free of blockages with debris. Debris removal is an ongoing maintenance requirement. Inspection and removal of debris should be done regularly.

Typical maintenance of the bio-retention basin elements will involve:

- Routine inspection of the basin to identify any areas of obvious increased sediment deposition, scouring of the swale invert from storm flows, rill erosion of the swale batters from lateral inflows, damage to the swale profile from vehicles and clogging of the bio-retention trench (evident by a 'boggy' basin invert).
- Routine inspection of inlet points (if the swale does not have distributed inflows) and surcharge pits.
- Inspection of stormwater inlet pits to identify any areas of scour, litter build up and blockages.
- Removal of sediment where it is impeding the conveyance of the water in the bio-retention basin and/or smothering the basin vegetation, and if necessary, re-profiling of the basin and revegetating to original design specification.
- Repairing any damage to the basin profile resulting from scour, rill erosion or vehicle damage.
- Tilling of the bio-retention trench surface if there is evidence of clogging.
- Clearing of blockages to inlet or outlets.
- Regular watering/irrigation of vegetation until plants are established and actively growing.
- Mowing of turf or slashing of vegetation (if required) to preserve the optimal design height for the vegetation.
- Removal and management of invasive weeds.
- Removal of plants that have died and replacement with plants of equivalent size and species as detailed in the plant schedule.
- Pruning to remove dead or diseased vegetation material and to stimulate new growth.
- Litter and debris removal.
- Vegetation pest monitoring and control.
- Resetting (i.e. complete reconstruction) of bio-retention elements will be required if the available flow area of the overlying swale is reduced by 25 % (due to accumulation of sediment) or if the bio-retention trench fails to drain adequately after tilling of the surface. Inspections are also recommended following large storm events to check for scour.

All maintenance activities must be specified in a maintenance plan (and associated maintenance inspection forms) to be developed as part of the design procedure. Maintenance personnel and asset managers will use this plan to ensure the bio-retention basin continues to function as designed. The maintenance plans and forms must address the following:

- inspection frequency
- maintenance frequency
- data collection/storage requirements (i.e. during inspections)
- detailed cleanout procedures (main element of the plans) including:
 - equipment needs
 - maintenance techniques
 - occupational health and safety
 - public safety
 - environmental management considerations
 - disposal requirements (of material removed)
 - access issues
 - stakeholder notification requirements
 - data collection requirements (if any)

A proforma operation and maintenance inspection form is included in the checking tools provided on the following page. Inspections are to be undertaken at least once per month, with TSS, TP and TN samples taken at least once per year during a precipitation event.

Operation and Maintenance Inspection Form

The form on the following page is to be used whenever an inspection is conducted and kept as a record on the asset condition and quantity of removed pollutants over time.

BIORETENTION BASIN Maintenance Plan	
Inspection Frequency: (monthly) Date of Visit:	
Location:	
Description:	
Site Visit by:	
INSPECTION ITEMS	Y/N ACTION REQUIRED (DETAILS)
Sediment accumulation at inflow points?	Y/N Comments
Litter within basin?	
Erosion at inlet or other key structures (e.g. crossovers)?	
Traffic damage present?	
Evidence of dumping (e.g. building waste)?	
Vegetation condition satisfactory (density, weeds etc)?	
Replanting required?	
Mowing required?	
Clogging of drainage points (sediment or debris)?	
Evidence of ponding?	
Set down from kerb still present?	
Damage/vandalism to structures present?	
Surface clogging visible?	
Drainage system inspected?	
Re-mulching of trees and shrubs required?	
Soil additives or amendments required?	
Pruning and/ or removal of dead or diseased vegetation required?	
Test of saturated conductivity of filter media taken (3 samples required)	
Saturated conductivity test result (average)	
TN TP TSS samples taken? (samples required once per year)	
TN at inlet	
TN at outlet	
TP at inlet	
TP at outlet	
TSS at inlet	
TSS at outlet	
Re-setting of system required?	
COMMENTS	

9.6 Maintenance Cost of Proposed Strategy

Maintenance costs are those costs that will be continually incurred. It is assumed that the maintenance costs (per annum) for the SBSMP would be in the order of costs provided in Table 8.1 below:

Table 8.1: Annual Maintenance Cost for SMP

Activity	Annual Cost \$ AUD
Labour	\$3500
Materials	\$5300
Machine Hire	\$3750
Re-vegetation Costs	\$2500
Total	\$15050

10.0 ASSET MANAGEMENT

It is proposed that the assets associated with stormwater management and urban water quality control for this site would be the responsibility of the Developer and/or their nominated Site Manager.

11.0 REFERENCES

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APPENDICES

APPENDIX A

- **Architectural Plan**

REV.	DATE	DESCRIPTION	BY
A	24/07/12	FOR INFORMATION ONLY	N.A.
B	24/07/12	PRELIMINARY PARADE	N.A.
C	24/07/12	PARADE	N.A.
D	24/07/12	PARADE	N.A.
E	24/07/12	PRELIMINARY PARADE	N.A.
F	24/07/12	PRELIMINARY PARADE	N.A.
G	24/07/12	PARADE	N.A.
H	24/07/12	VARIATION STREET LAYOUT FOR SHOP AT	N.A.
I	24/07/12	VARIATION STREET LAYOUT FOR SHOP AT	N.A.

NOTE: SHOPS TO BE CAREREGOUT TO GROUND. BOUNDARY AND EXISTING BUILDING LOCATIONS.

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PROPOSED REDEVELOPMENT BILOELA SHOPPINGWORLD for M'CONAGHY GROUP
Corner of Kariboe St & Gladstone Rd, BILOELA

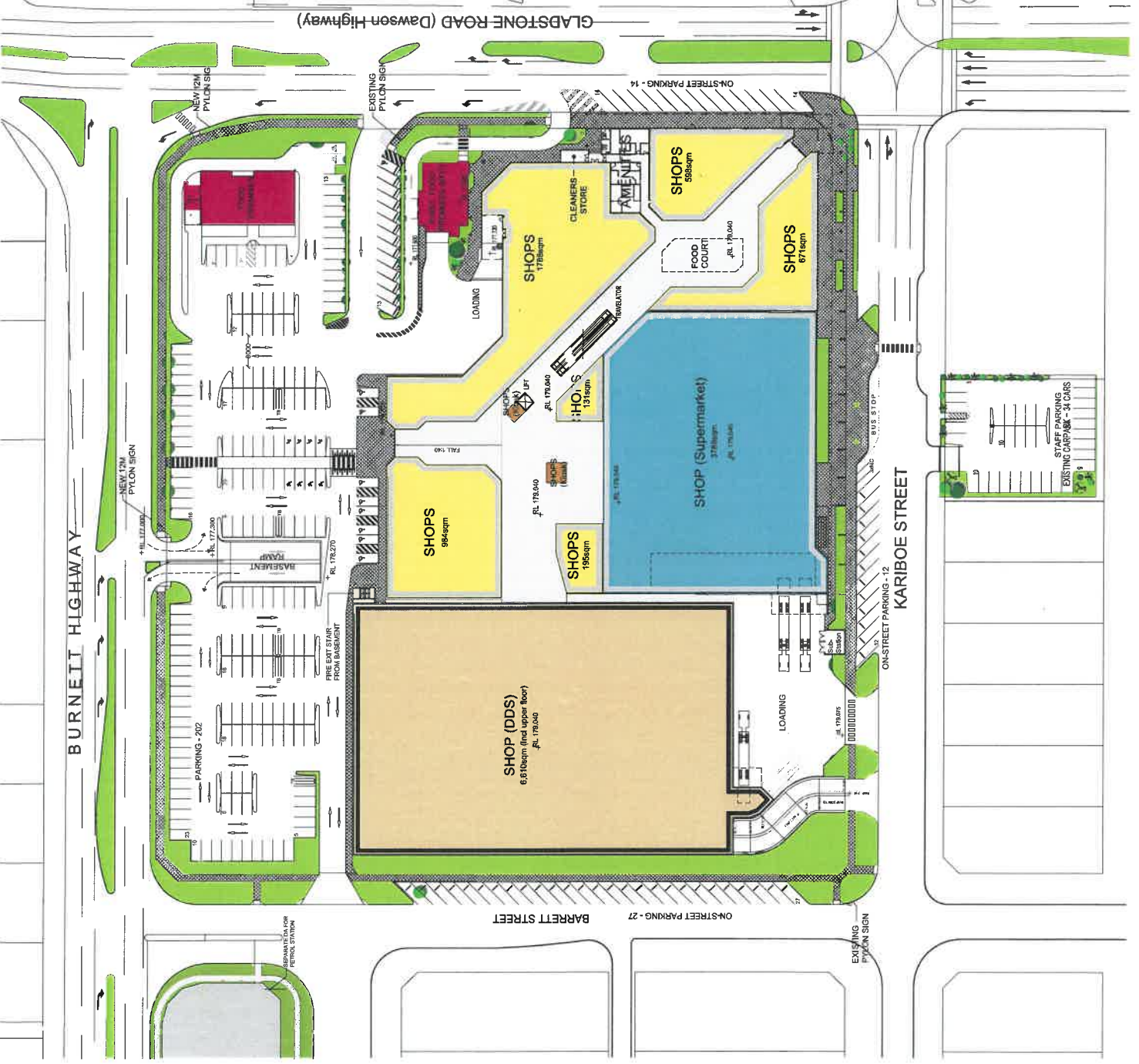
PROPOSED SITE PLAN

DATE: JULY 2012
SCALE: 1:500 @ A1
DRAWN: KJF
CHECKED:
VERIFIED:

7142
PROJECT NO.

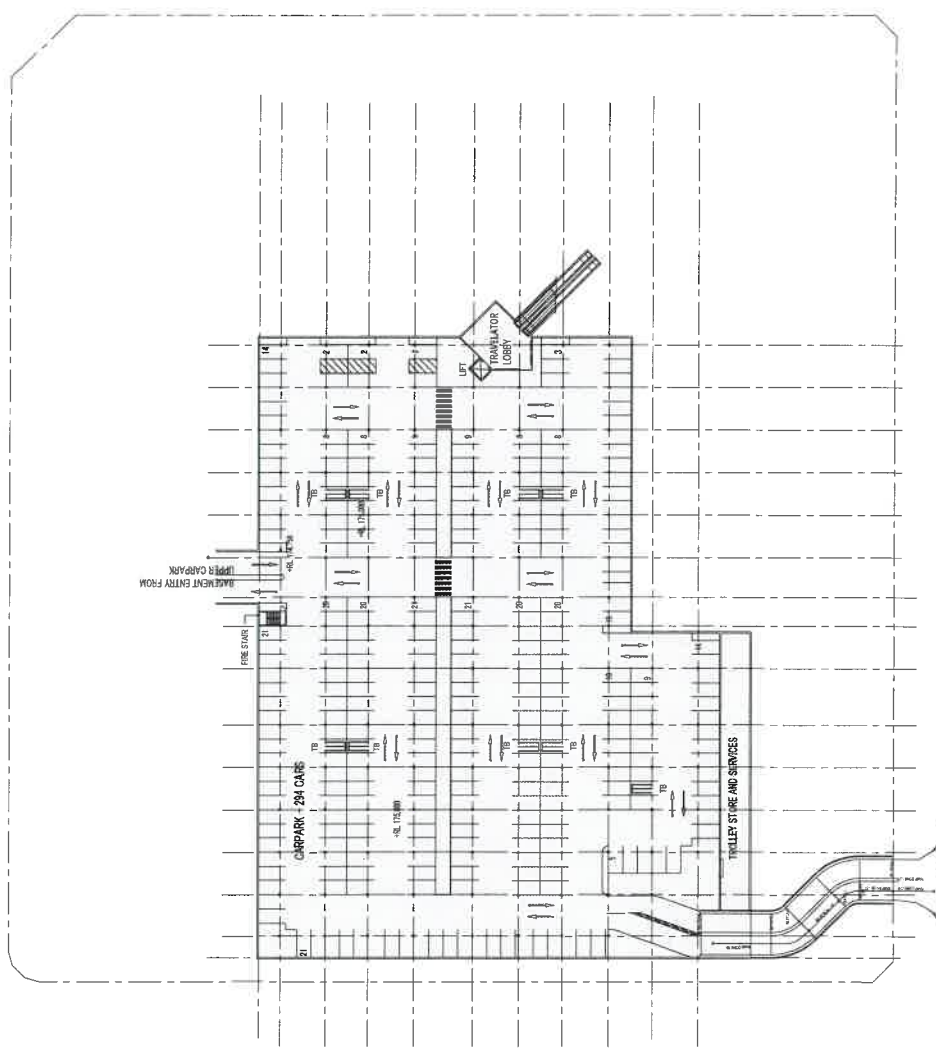
DA02
SHEET NO.

1
RUBENSON
Professional Street View A1 - 600 x 400mm



RETAIL/COMMERCIAL COMPLEX DEVELOPMENT SCHEDULE	
SHOP (DDS)	6,610sqm
SHOPS (Supermarket)	3,789sqm
SHOPS (Specialty)	4,367sqm
SHOPS (Kleas)	38sqm
Exist. FOOD Premises (KFC)	210sqm
FOOD Premises	320sqm
TOTAL	15,344sqm
LANDSCAPING	
CARPARKING	1,864sqm
BASEMENT Level	294
GROUND Level	202
STAFF	34
ON STREET	53
MOTORCYCLES	3
CREDIT for carspaces paid for in previous expansion. Refer to town planning report	22
TOTAL	605
	(3,941/100sqm)

rev.	date	details	pt./int
A	24/07/12	FOR INFORMATION ONLY	1/A
B	09/09/12	PRELIMINARY DESIGN	1/A
C	20/09/12	PRELIMINARY DESIGN	1/A
D	20/09/12	PRELIMINARY DESIGN	1/A
E	20/09/12	PRELIMINARY DESIGN	1/A
F	20/09/12	PRELIMINARY DESIGN	1/A
G	20/09/12	PRELIMINARY DESIGN	1/A



NOTE:
SITE BOUNDARY TO BE CARRIED OUT TO CONFORM WITH EXISTING BUILDING LOCATIONS

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PROPOSED REDEVELOPMENT
BILOELA SHOPPINGWORLD
for
MCCONAGHY GROUP
Corner of Kariboe St & Gladstone Rd, BILOELA
project
PROPOSED BASEMENT PLAN

sheet	date	13 March 2012
scale	1:500 @ A1	
drawn	KJR	
checked		
verified		
project no.	7142	
sheet no.	DA03	
revision	G	

REV.	DATE	DETAILS	PRI/INT
A	13/07/12	FOR INFORMATION ONLY	NA
B	09/08/12	PRELIMINARY DESIGN	NA
C	09/08/12	PRELIMINARY DESIGN	NA
D	09/08/12	FOR INFO	NA
E	09/08/12	FOR INFO	NA

RETAIL COMMERCIAL COMPLEX DEVELOPMENT SCHEDULE	
SITE AREA	2342m ²
SHOP (Petrol)	73m ²
CARPARKING GROUND	14 (19.17/100sqm)

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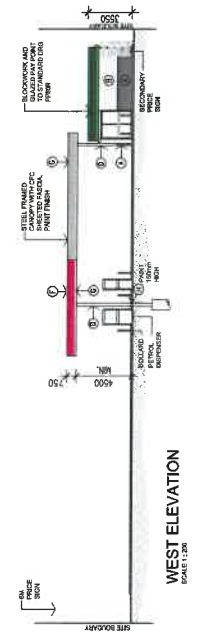
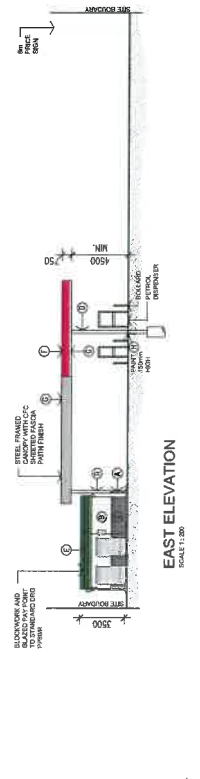
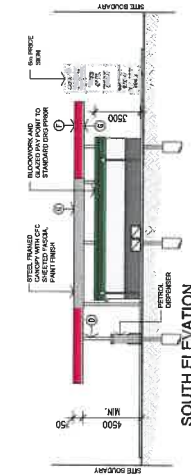
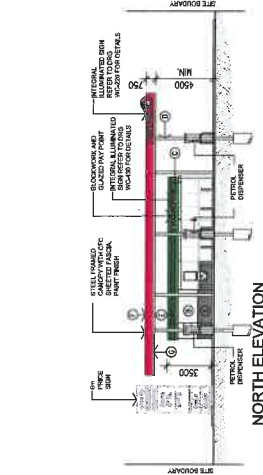
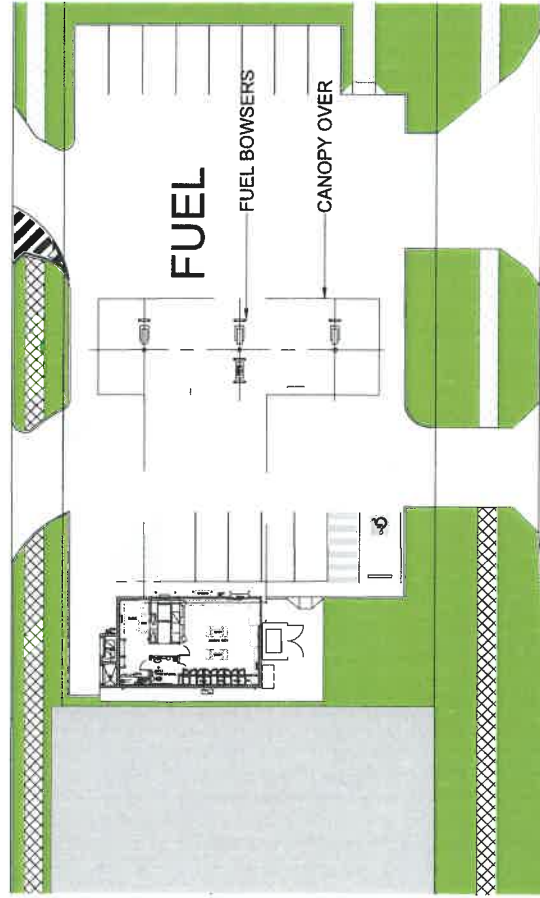
ThomsonAdsett
12 Fleet Lane
South Brisbane
PO Box 3348
South Brisbane Q 4101 Email: info@thomsonadsett.com
www.thomsonadsett.com

PROPOSED REDEVELOPMENT BILOELA SHOPPINGWORLD
for
McCONAGHY GROUP
Corner of Kariboe St & Cleddstone Rd, BILOELA

PROJECT: PROPOSED PETROL STATION
SITE PLAN
sheet

DATE:	JULY 2012
SCALE:	1:500 & 1:100 @ A1
DRAWN:	KJR
CHECKED:	
VERIFIED:	

PROJECT NO.	7142
SHEET NO.	DA04
DATE	E



- **Amalgamated Survey Plan**

BILOELA
SHOPPINGWORLD
SURVEY AMALGAMATION
212102 SURVEY AMALG

farr engineers

Associates Pty Ltd
ABN 30 092 733 830
PO Box 104
SPRING HILL 4004

Level 3
457 Upper Edward St
SPRING HILL

TEL 07 3839 6788
FAX 07 3839 6799

postmaster@farrengineers.com.au



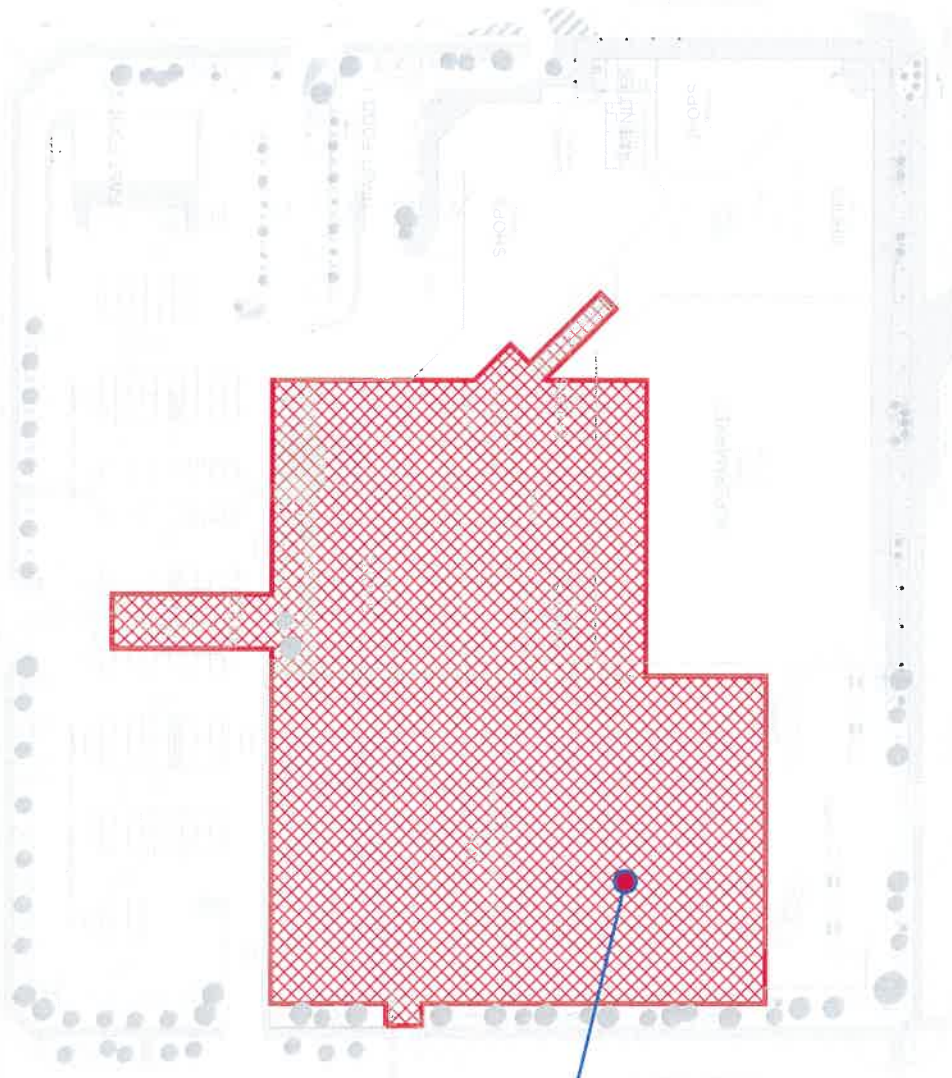
APPENDIX B

- ***Engineering Concept Plans***

farr engineers
Associates Pty Ltd
ABN 90 092 733 830
PO Box 104
SPRING HILL 4004

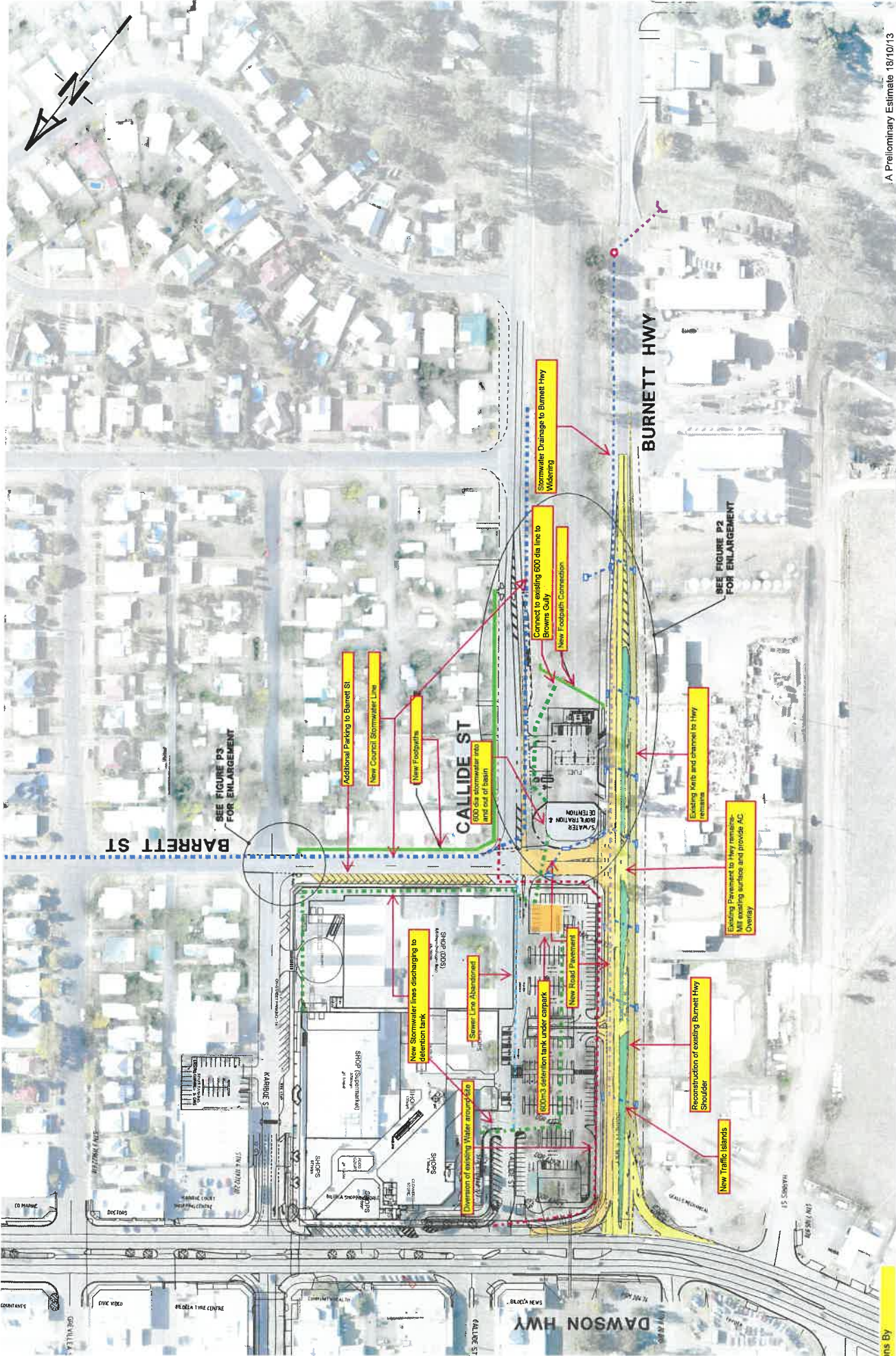
Level 3
457 Upper Edward St
SPRING HILL
TEL 07 3839 6788
FAX 07 3839 6799

postmaster@farrengineers.com.au



**Approximate Extent of
Basement Excavation
(10900 sq.m)**

**212102-CSK100 Biloela Shoppingworld Extensions
Basement Excavation Extent (Revision 1)
Scale 1:1000 (A3)
Date: 31st August 2012**



Annotations By

farr engineers
 Level 3
 100 Edward St
 SPRING HILL
 QLD 4133
 TEL: 07 3839 6788
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MRCagney

Plan of External Roadworks and Services Relocations
 BILDELA SHOPPING WORLD EXTENSION
 212102
 CSK100 A

A Preliminary Estimate 18/10/13



Full Size A3

Proposed Shopping
 Centre Catchment
 (Existing Shown in Purple)

Proposed Underground
 Detention Tank for
 Shopping Centre
 600kL

Proposed Bio-retention Basin
 for New Development
 450 sq.m (Filter Area Only)
 (includes 570kL detention storage)

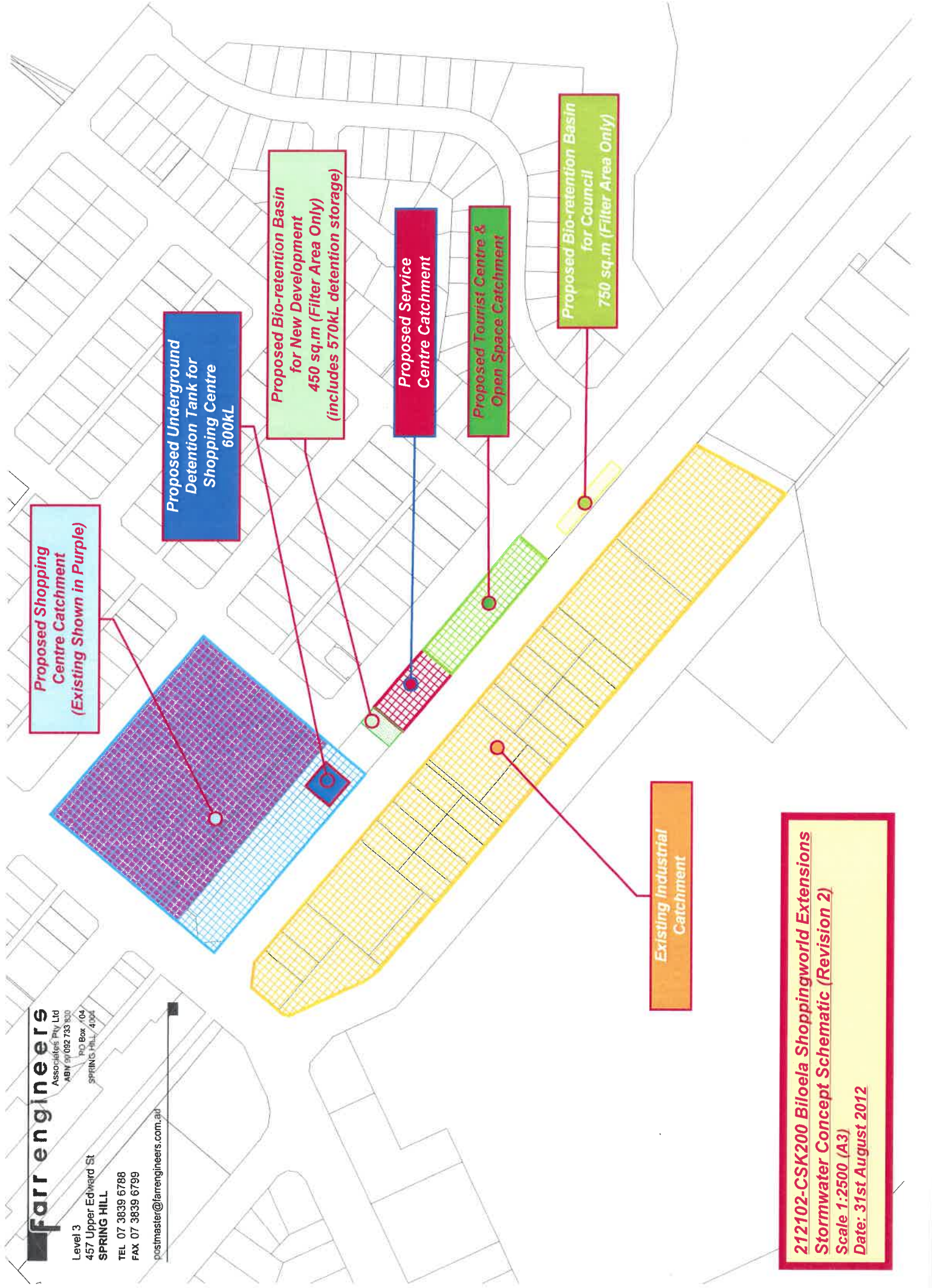
Proposed Service
 Centre Catchment

Proposed Tourist Centre &
 Open Space Catchment

Proposed Bio-retention Basin
 for Council
 750 sq.m (Filter Area Only)

Existing Industrial
 Catchment

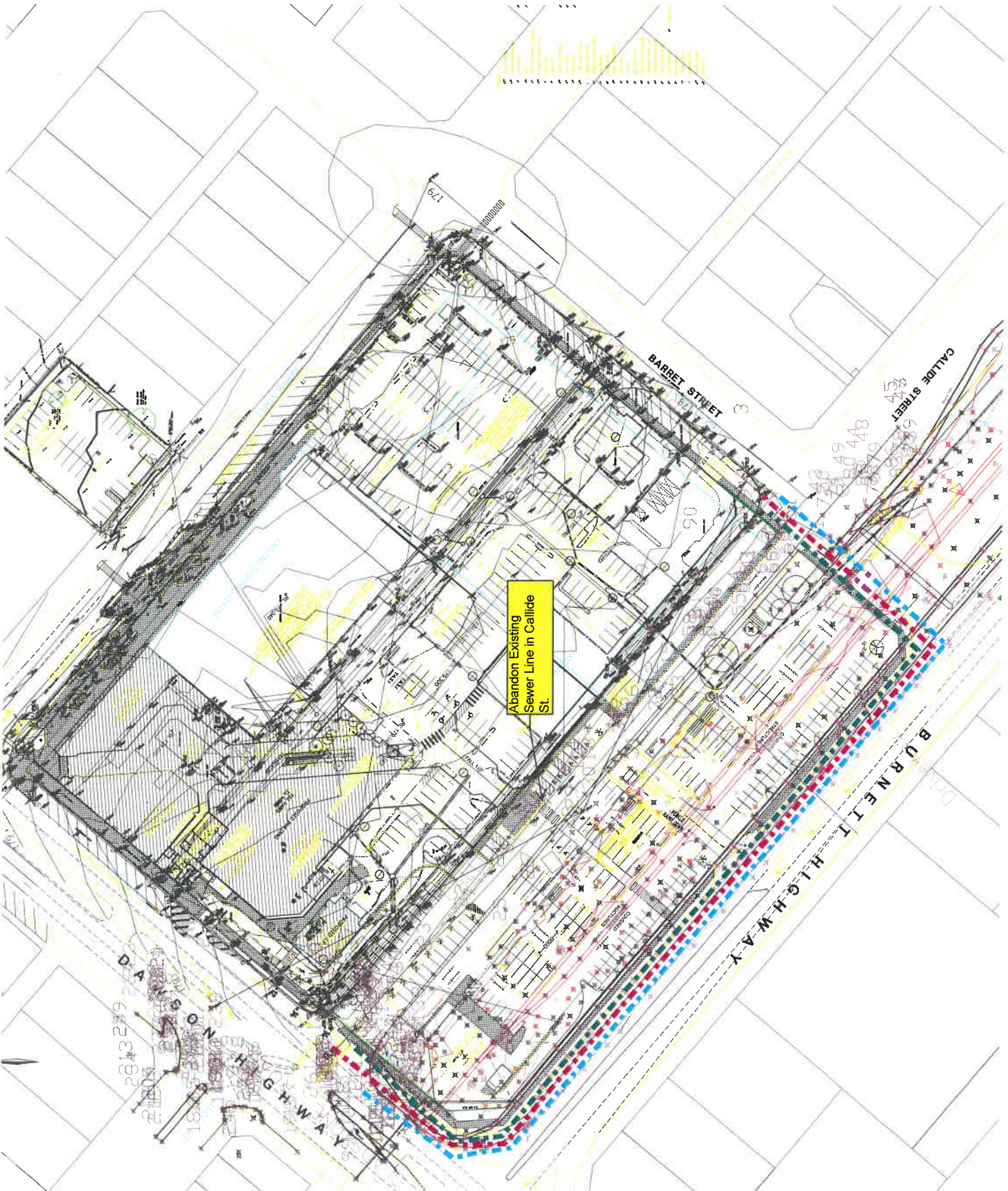
212102-CSK200 Biloela Shoppingworld Extensions
 Stormwater Concept Schematic (Revision 2)
 Scale 1:2500 (A3)
 Date: 31st August 2012



- High Voltage Power Relocation
- Telecommunications Relocation
- Water Ring Main Relocation

BILOELA
SHOPPINGWORLD
SERVICES RELOCATIONS
212102 CSK300

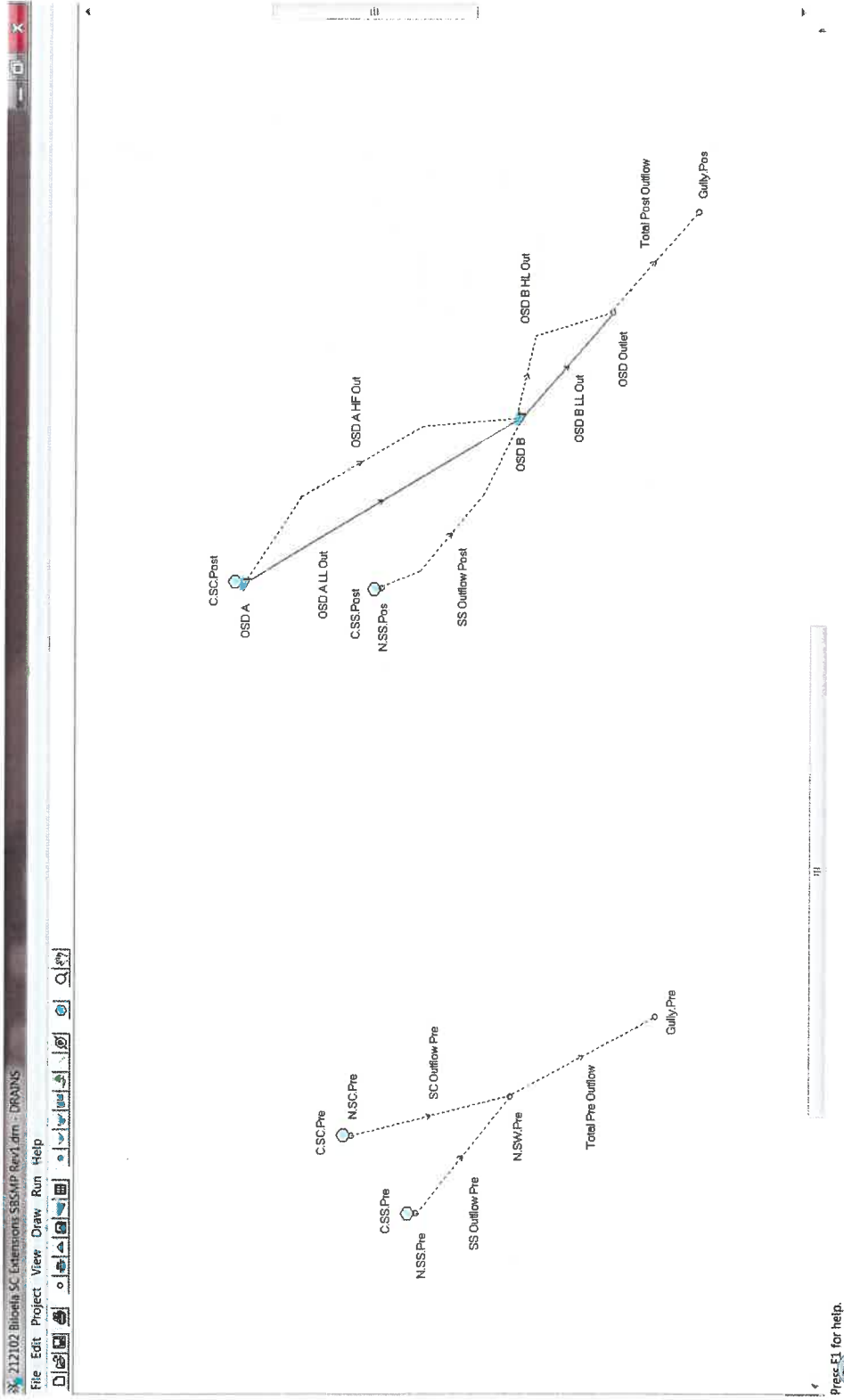
farr engineers
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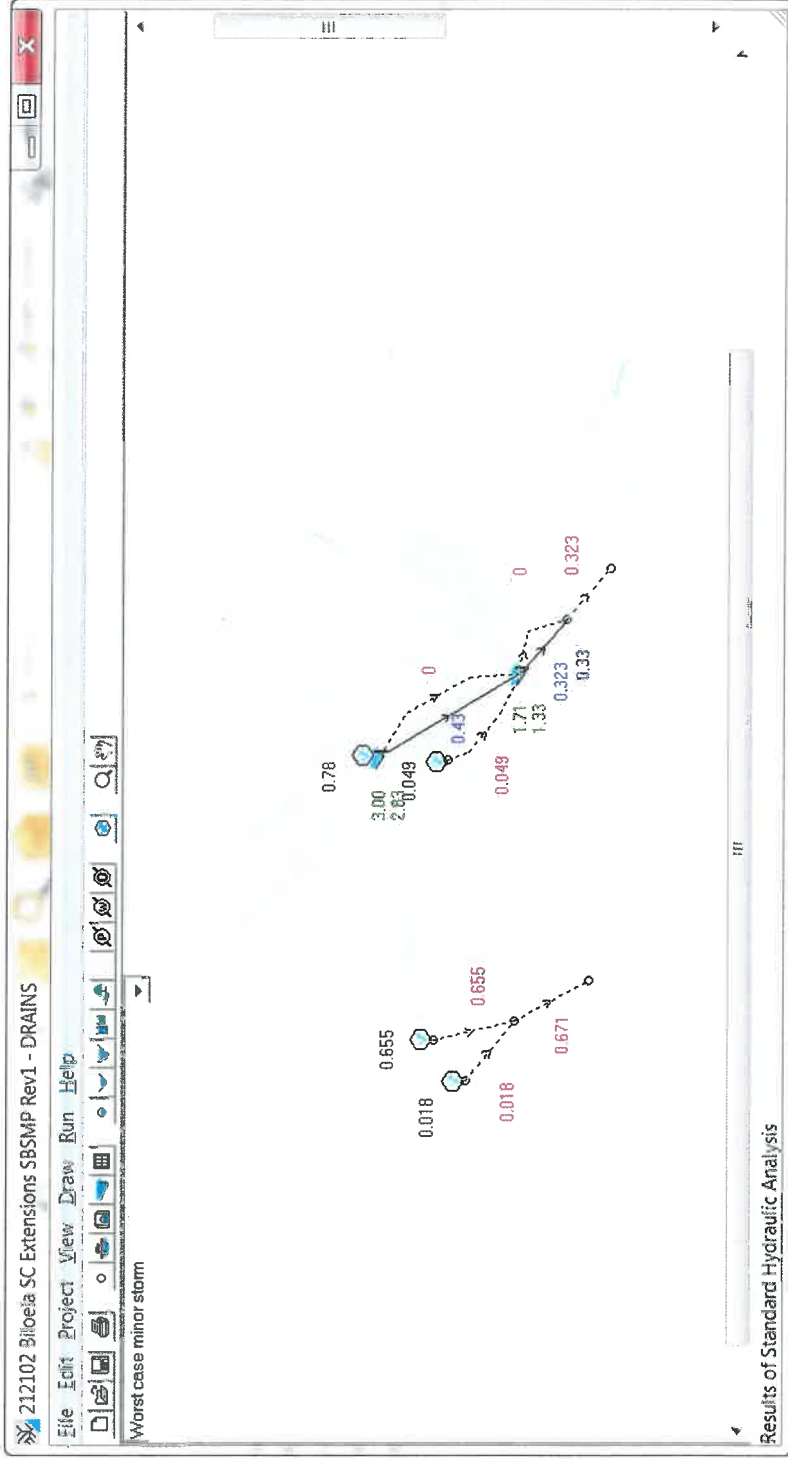
APPENDIX C

- ***DRAINS Model Layout (Pre and Post-Development Nodes & Links)***
- ***DRAINS Model Layout (Pre and Post-Development 2-Year ARI Peak Results)***
- ***DRAINS Model Layout (Pre and Post-Development 10-Year ARI Peak Results)***
- ***DRAINS Model Layout (Pre and Post-Development 20-Year ARI Peak Results)***
- ***DRAINS Model Layout (Pre and Post-Development 100-Year ARI Peak Results)***

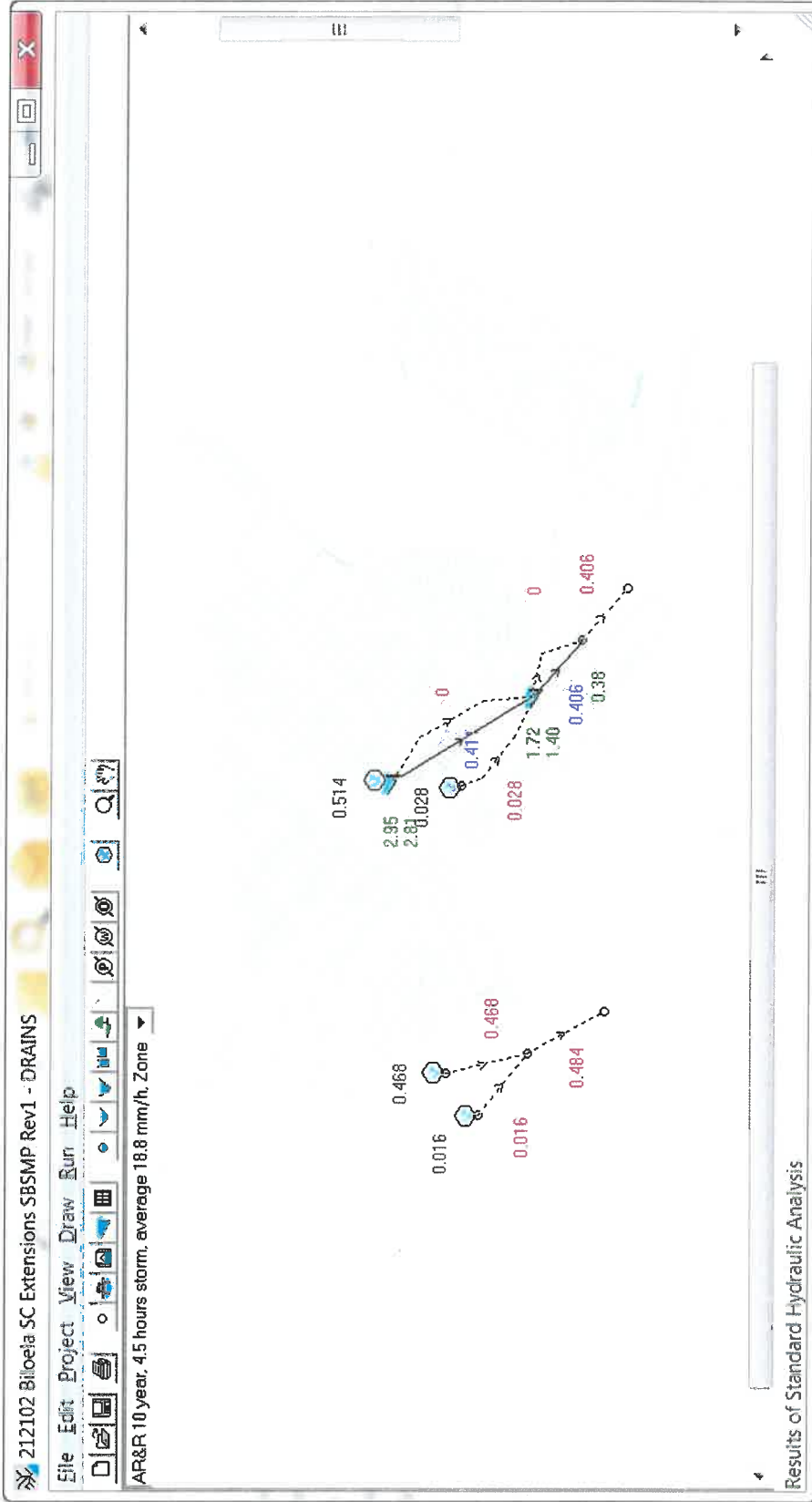
DRAINS Model Layout (Pre and Post-Development Nodes & Links)



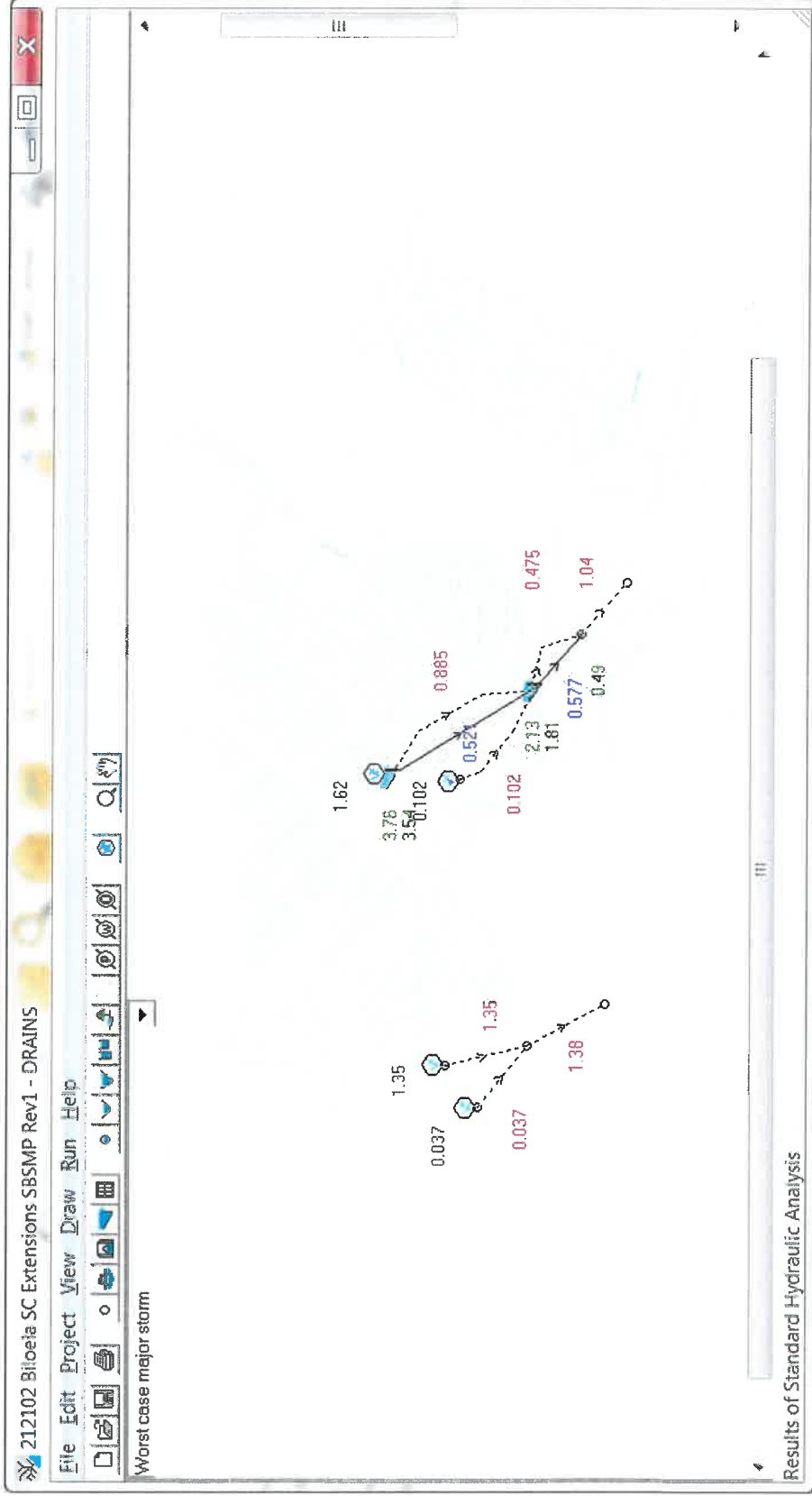
DRAINS Model Layout (Pre and Post-Development 2-Year ARI Peak Results)



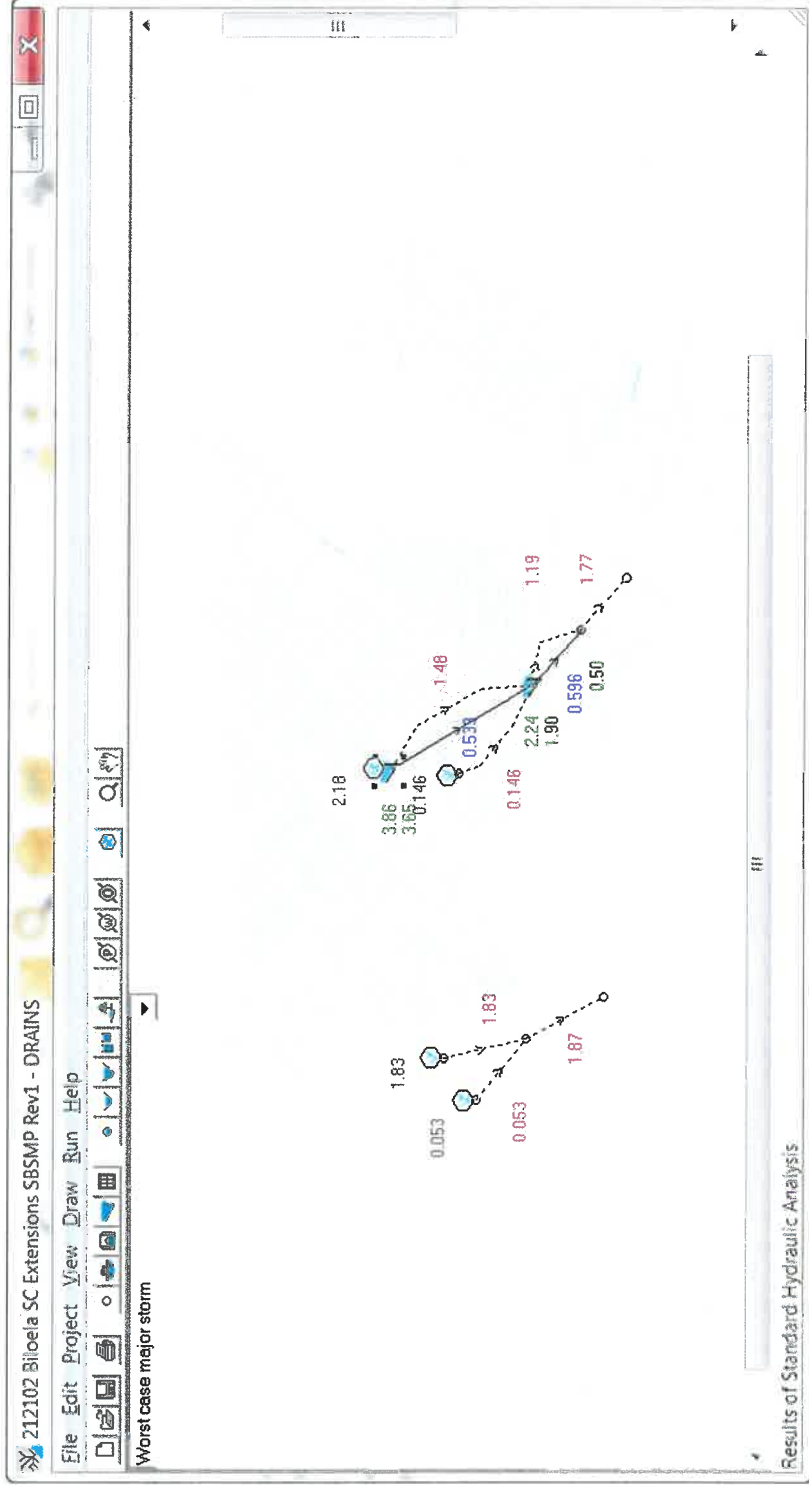
DRAINS Model Layout (Pre and Post-Development 10-Year ARI Peak Results)



DRAINS Model Layout (Pre and Post-Development 20-Year ARI Peak Results)



DRAINS Model Layout (Pre and Post-Development 100-Year ARI Peak Results)



APPENDIX D

- ***MUSIC Summary Report***

212102 Biloela SC Extensions MUSIC Summary Report Rev.2

Source nodes

Location, Shopping Centre (Existing + Future), Service Station (Future)
ID, 1, 2
Node Type, UrbanSourceNode, UrbanSourceNode
Total Area (ha), 3.312, 0.181
Area Impervious (ha), 3.16152747404844, 0.172144152249135
Area Pervious (ha), 0.150472525951557, 0.00885584775086504
Field Capacity (mm), 80, 80
Pervious Area Infiltration Capacity coefficient - a, 243, 243
Pervious Area Infiltration Capacity exponent - b, 0.6, 0.6
Impervious Area Rainfall Threshold (mm/day), 1, 1
Pervious Area Soil Storage Capacity (mm), 18, 18
Pervious Area Soil Initial Storage (% of Capacity), 10, 10
Groundwater Initial Depth (mm), 50, 50
Groundwater Daily Recharge Rate (%), 0, 0
Groundwater Daily Baseflow Rate (%), 31, 31
Groundwater Daily Deep Seepage Rate (%), 0, 0
Stormflow Total Suspended Solids Mean (log mg/L), 2.16, 1.92
Stormflow Total Suspended Solids Standard Deviation (log mg/L), 0.38, 0.44
Stormflow Total Suspended Solids Estimation Method, Stochastic, Stochastic
Stormflow Total Suspended Solids Serial Correlation, 0, 0
Stormflow Total Phosphorus Mean (log mg/L), -0.39, -0.59
Stormflow Total Phosphorus Standard Deviation (log mg/L), 0.34, 0.36
Stormflow Total Phosphorus Estimation Method, Stochastic, Stochastic
Stormflow Total Phosphorus Serial Correlation, 0, 0
Stormflow Total Nitrogen Mean (log mg/L), 0.37, 0.25
Stormflow Total Nitrogen Standard Deviation (log mg/L), 0.34, 0.32
Stormflow Total Nitrogen Estimation Method, Stochastic, Stochastic
Stormflow Total Nitrogen Serial Correlation, 0, 0
Baseflow Total Suspended Solids Mean (log mg/L), 0.78, 0.78
Baseflow Total Suspended Solids Standard Deviation (log mg/L), 0.39, 0.45
Baseflow Total Suspended Solids Estimation Method, Stochastic, Stochastic
Baseflow Total Suspended Solids Serial Correlation, 0, 0
Baseflow Total Phosphorus Mean (log mg/L), -0.6, -1.11
Baseflow Total Phosphorus Standard Deviation (log mg/L), 0.5, 0.48
Baseflow Total Phosphorus Estimation Method, Stochastic, Stochastic
Baseflow Total Phosphorus Serial Correlation, 0, 0
Baseflow Total Nitrogen Mean (log mg/L), 0.32, 0.14
Baseflow Total Nitrogen Standard Deviation (log mg/L), 0.3, 0.2
Baseflow Total Nitrogen Estimation Method, Stochastic, Stochastic
Baseflow Total Nitrogen Serial Correlation, 0, 0
OUT - Mean Annual Flow (ML/yr), 17.0, 0.931
OUT - TSS Mean Annual Load (kg/yr), 3.62E3, 131
OUT - TP Mean Annual Load (kg/yr), 9.45, 0.337
OUT - TN Mean Annual Load (kg/yr), 53.2, 2.13
OUT - Gross Pollutant Mean Annual Load (kg/yr), 486, 26.6
Rain In (ML/yr), 19.3949, 1.05993
ET Loss (ML/yr), 2.36557, 0.129278
Deep Seepage Loss (ML/yr), 0, 0
Baseflow Out (ML/yr), 0, 0
Imp. Stormflow Out (ML/yr), 16.6023, 0.907313
Perv. Stormflow Out (ML/yr), 0.426099, 0.0232862
Total Stormflow Out (ML/yr), 17.0284, 0.930599
Total Outflow (ML/yr), 17.0284, 0.930599
Change in Soil Storage (ML/yr), 0.000898795, 4.91483E-5
TSS Baseflow Out (ML/yr), 0, 0
TSS Total Stormflow Out (ML/yr), 3617.72, 130.831
TSS Total Outflow (ML/yr), 3617.72, 130.831
TP Baseflow Out (ML/yr), 0, 0

TP Total Stormflow Out (ML/yr),9.4497,0.337042
TP Total Outflow (ML/yr),9.4497,0.337042
TN Baseflow Out (ML/yr),0,0
TN Total Stormflow Out (ML/yr),53.2303,2.13132
TN Total Outflow (ML/yr),53.2303,2.13132
GP Total Outflow (ML/yr),486.144,26.5676

No Imported Data Source nodes

USTM treatment nodes

Location,Bio (New Dev)

ID,5

Node Type,BioRetentionNodeV4

Lo-flow bypass rate (cum/sec),0

Hi-flow bypass rate (cum/sec),2.862

Inlet pond volume,

Area (sqm),450

Extended detention depth (m),0.2

Permanent Pool Volume (cubic metres),

Proportion vegetated,

Equivalent Pipe Diameter (mm),

Overflow weir width (m),6.4

Notional Detention Time (hrs),

Orifice Discharge Coefficient,

Weir Coefficient,1.7

Number of CSTR Cells,3

Total Suspended Solids - k (m/yr),8000

Total Suspended Solids - C* (mg/L),20

Total Suspended Solids - C** (mg/L),

Total Phosphorus - k (m/yr),6000

Total Phosphorus - C* (mg/L),0.13

Total Phosphorus - C** (mg/L),

Total Nitrogen - k (m/yr),500

Total Nitrogen - C* (mg/L),1.4

Total Nitrogen - C** (mg/L),

Threshold Hydraulic Loading for C** (m/yr),

Horizontal Flow Coefficient,3

Extraction for Re-use,Off

Annual Re-use Demand - scaled by daily PET (ML),

Annual Re-use Demand - scaled by daily PET - Rain (ML),

Constant Daily Re-use Demand (kL),

User-defined Annual Re-use Demand (ML),

Percentage of User-defined Annual Re-use Demand Jan,

Percentage of User-defined Annual Re-use Demand Feb,

Percentage of User-defined Annual Re-use Demand Mar,

Percentage of User-defined Annual Re-use Demand Apr,

Percentage of User-defined Annual Re-use Demand May,

Percentage of User-defined Annual Re-use Demand Jun,

Percentage of User-defined Annual Re-use Demand Jul,

Percentage of User-defined Annual Re-use Demand Aug,

Percentage of User-defined Annual Re-use Demand Sep,

Percentage of User-defined Annual Re-use Demand Oct,

Percentage of User-defined Annual Re-use Demand Nov,

Percentage of User-defined Annual Re-use Demand Dec,

User-defined Re-use File,

Filter area (sqm),450

Filter perimeter (m),0.01

Filter depth (m),0.4

Filter Median Particle Diameter (mm),

Saturated Hydraulic Conductivity (mm/hr),180

Infiltration Media Porosity,0.35

Length (m),
Bed slope,
Base Width (m),
Top width (m),
Vegetation height (m),
Vegetation Type, Vegetated with Effective Nutrient Removal Plants
Total Nitrogen Content in Filter (mg/kg), 800
Orthophosphate Content in Filter (mg/kg), 50
Is Base Lined?, Yes
Is Underdrain Present?, Yes
Is Submerged Zone Present?, No
Submerged Zone Depth (m),
B for Media Soil Texture, 13
Proportion of upstream impervious area treated,
Exfiltration Rate (mm/hr), 0
Evap Loss as proportion of PET,
Depth in metres below the drain pipe,
TSS A Coefficient,
TSS B Coefficient,
TP A Coefficient,
TP B Coefficient,
TN A Coefficient,
TN B Coefficient,
Sfc, 0.61
S*, 0.37
Sw, 0.11
Sh, 0.05
Emax (m/day), 0.008
Ew (m/day), 0.001
IN - Mean Annual Flow (ML/yr), 18.0
IN - TSS Mean Annual Load (kg/yr), 3.75E3
IN - TP Mean Annual Load (kg/yr), 9.79
IN - TN Mean Annual Load (kg/yr), 55.4
IN - Gross Pollutant Mean Annual Load (kg/yr), 513
OUT - Mean Annual Flow (ML/yr), 17.2
OUT - TSS Mean Annual Load (kg/yr), 620
OUT - TP Mean Annual Load (kg/yr), 3.30
OUT - TN Mean Annual Load (kg/yr), 30.1
OUT - Gross Pollutant Mean Annual Load (kg/yr), 0.00
Flow In (ML/yr), 17.9569
ET Loss (ML/yr), 0.788134
Infiltration Loss (ML/yr), 0
Low Flow Bypass Out (ML/yr), 0
High Flow Bypass Out (ML/yr), 0
Orifice / Filter Out (ML/yr), 11.8354
Weir Out (ML/yr), 5.32192
Transfer Function Out (ML/yr), 0
Reuse Supplied (ML/yr), 0
Reuse Requested (ML/yr), 0
% Reuse Demand Met, 0
% Load Reduction, 4.45242
TSS Flow In (kg/yr), 3748.55
TSS ET Loss (kg/yr), 0
TSS Infiltration Loss (kg/yr), 0
TSS Low Flow Bypass Out (kg/yr), 0
TSS High Flow Bypass Out (kg/yr), 0
TSS Orifice / Filter Out (kg/yr), 39.7672
TSS Weir Out (kg/yr), 580.635
TSS Transfer Function Out (kg/yr), 0
TSS Reuse Supplied (kg/yr), 0
TSS Reuse Requested (kg/yr), 0

TSS % Reuse Demand Met,0
TSS % Load Reduction,83.4495
TP Flow In (kg/yr),9.78673
TP ET Loss (kg/yr),0
TP Infiltration Loss (kg/yr),0
TP Low Flow Bypass Out (kg/yr),0
TP High Flow Bypass Out (kg/yr),0
TP Orifice / Filter Out (kg/yr),1.3664
TP Weir Out (kg/yr),1.9307
TP Transfer Function Out (kg/yr),0
TP Reuse Supplied (kg/yr),0
TP Reuse Requested (kg/yr),0
TP % Reuse Demand Met,0
TP % Load Reduction,66.3105
TN Flow In (kg/yr),55.3614
TN ET Loss (kg/yr),0
TN Infiltration Loss (kg/yr),0
TN Low Flow Bypass Out (kg/yr),0
TN High Flow Bypass Out (kg/yr),0
TN Orifice / Filter Out (kg/yr),14.7318
TN Weir Out (kg/yr),15.379
TN Transfer Function Out (kg/yr),0
TN Reuse Supplied (kg/yr),0
TN Reuse Requested (kg/yr),0
TN % Reuse Demand Met,0
TN % Load Reduction,45.6105
GP Flow In (kg/yr),512.719
GP ET Loss (kg/yr),0
GP Infiltration Loss (kg/yr),0
GP Low Flow Bypass Out (kg/yr),0
GP High Flow Bypass Out (kg/yr),0
GP Orifice / Filter Out (kg/yr),0
GP Weir Out (kg/yr),0
GP Transfer Function Out (kg/yr),0
GP Reuse Supplied (kg/yr),0
GP Reuse Requested (kg/yr),0
GP % Reuse Demand Met,0
GP % Load Reduction,100

No Generic treatment nodes

Other nodes

Location,New Development SW,Browns Gully
ID,3,4
Node Type,JunctionNode,ReceivingNode
IN - Mean Annual Flow (ML/yr),17.2,17.2
IN - TSS Mean Annual Load (kg/yr),620,620
IN - TP Mean Annual Load (kg/yr),3.30,3.30
IN - TN Mean Annual Load (kg/yr),30.1,30.1
IN - Gross Pollutant Mean Annual Load (kg/yr),0.00,0.00
OUT - Mean Annual Flow (ML/yr),17.2,0.00
OUT - TSS Mean Annual Load (kg/yr),620,0.00
OUT - TP Mean Annual Load (kg/yr),3.30,0.00
OUT - TN Mean Annual Load (kg/yr),30.1,0.00
OUT - Gross Pollutant Mean Annual Load (kg/yr),0.00,0.00

Links

Location,Drainage Link,Drainage Link,Drainage Link,Drainage Link
Source node ID,1,2,5,3
Target node ID,5,5,3,4
Muskingum-Cunge Routing,Not Routed,Not Routed,Not Routed,Not Routed

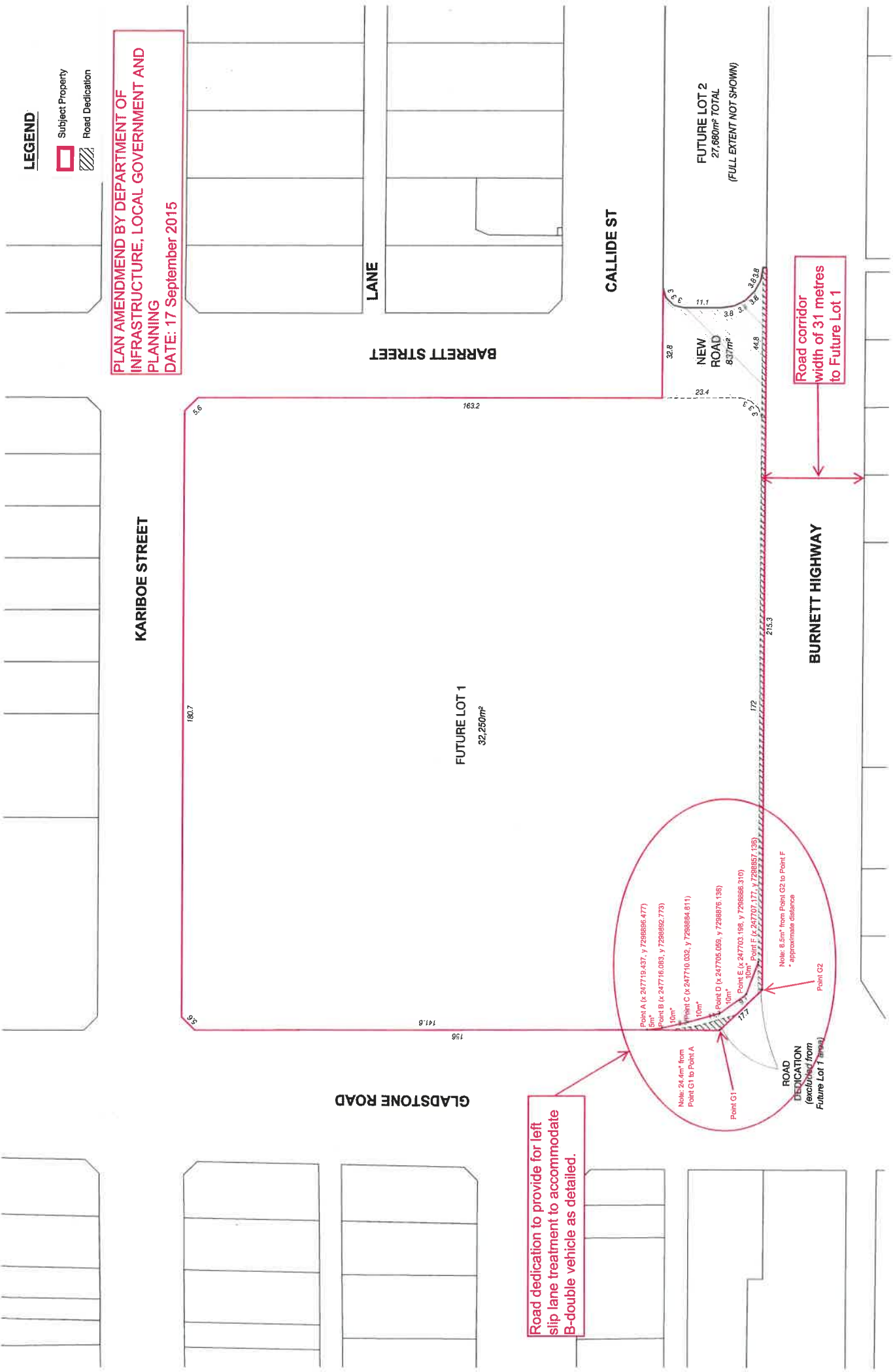
Muskingum K, , , ,
Muskingum theta, , , ,
IN - Mean Annual Flow (ML/yr),17.0,0.931,17.2,17.2
IN - TSS Mean Annual Load (kg/yr),3.62E3,131,620,620
IN - TP Mean Annual Load (kg/yr),9.45,0.337,3.30,3.30
IN - TN Mean Annual Load (kg/yr),53.2,2.13,30.1,30.1
IN - Gross Pollutant Mean Annual Load (kg/yr),486,26.6,0.00,0.00
OUT - Mean Annual Flow (ML/yr),17.0,0.931,17.2,17.2
OUT - TSS Mean Annual Load (kg/yr),3.62E3,131,620,620
OUT - TP Mean Annual Load (kg/yr),9.45,0.337,3.30,3.30
OUT - TN Mean Annual Load (kg/yr),53.2,2.13,30.1,30.1
OUT - Gross Pollutant Mean Annual Load (kg/yr),486,26.6,0.00,0.00

MUSIC Summary Report

LEGEND

-  Subject Property
-  Road Dedication

PLAN AMENDMENT BY DEPARTMENT OF INFRASTRUCTURE, LOCAL GOVERNMENT AND PLANNING
DATE: 17 September 2015



Road dedication to provide for left slip lane treatment to accommodate B-double vehicle as detailed.

Road corridor width of 31 metres to Future Lot 1

Point A (x 247719.437, y 7298886.477)
 5m*
 Point B (x 247716.083, y 7298892.773)
 10m*
 Point C (x 247710.032, y 72988884.811)
 10m*
 Point D (x 247705.059, y 72988976.136)
 10m*
 Point E (x 247703.198, y 7298886.310)
 10m*
 Point F (x 247703.177, y 7298857.139)
 10m*
 Note: 8.5m* from Point G2 to Point F
 * approximate distance
 Point G2

Attachment 2

Sustainable Planning Act 2009 Extract on Appeal Rights

Division 8 Appeals to court relating to development applications and approvals

461 Appeals by applicants

- (1) An applicant for a development application may appeal to the court against any of the following—
 - (a) the refusal, or the refusal in part, of the development application;
 - (b) any condition of a development approval, another matter stated in a development approval and the identification or inclusion of a code under section 242;
 - (c) the decision to give a preliminary approval when a development permit was applied for;
 - (d) the length of a period mentioned in section 341;
 - (e) a deemed refusal of the development application.
- (2) An appeal under subsection (1)(a), (b), (c) or (d) must be started within 20 business days (the ***applicant's appeal period***) after—
 - (a) if a decision notice or negotiated decision notice is given—the day the decision notice or negotiated decision notice is given to the applicant; or
 - (b) otherwise—the day a decision notice was required to be given to the applicant.
- (3) An appeal under subsection (1)(e) may be started at any time after the last day a decision on the matter should have been made.

462 Appeals by submitters—general

- (1) A submitter for a development application may appeal to the court only against—
 - (a) the part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) the part of the approval relating to the assessment manager's decision under section 327.
- (2) To the extent an appeal may be made under subsection (1), the appeal may be against 1 or more of the following—
 - (a) the giving of a development approval;
 - (b) any provision of the approval including—
 - (i) a condition of, or lack of condition for, the approval; or
 - (ii) the length of a period mentioned in section 341 for the approval.
- (3) However, a submitter may not appeal if the submitter—
 - (a) withdraws the submission before the application is decided; or
 - (b) has given the assessment manager a notice under section 339(1)(b)(ii).
- (4) The appeal must be started within 20 business days (the ***submitter's appeal period***) after the decision notice or negotiated decision notice is given to the submitter.

463 Additional and extended appeal rights for submitters for particular development applications

- (1) This section applies to a development application to which chapter 9, part 7 applies.
- (2) A submitter of a properly made submission for the application may appeal to the court about a referral agency's response made by a prescribed concurrence agency for the application.
- (3) However, the submitter may only appeal against a referral agency's response to the extent it relates to—
 - (a) if the prescribed concurrence agency is the chief executive (environment)—development for an aquacultural ERA; or
 - (b) if the prescribed concurrence agency is the chief executive (fisheries)—development that is—

- (i) a material change of use of premises for aquaculture; or
 - (ii) operational work that is the removal, damage or destruction of a marine plant.
- (4) Despite section 462(1), the submitter may appeal against the following matters for the application even if the matters relate to code assessment—
 - (a) a decision about a matter mentioned in section 462(2) if it is a decision of the chief executive (fisheries);
 - (b) a referral agency's response mentioned in subsection (2).

464 Appeals by advice agency submitters

- (1) Subsection (2) applies if an advice agency, in its response for an application, told the assessment manager to treat the response as a properly made submission.
- (2) The advice agency may, within the limits of its jurisdiction, appeal to the court about—
 - (a) any part of the approval relating to the assessment manager's decision about any part of the application requiring impact assessment under section 314; or
 - (b) any part of the approval relating to the assessment manager's decision under section 327.
- (3) The appeal must be started within 20 business days after the day the decision notice or negotiated decision notice is given to the advice agency as a submitter.
- (4) However, if the advice agency has given the assessment manager a notice under section 339(1)(b)(ii), the advice agency may not appeal the decision.

Attachment 3
Approved Drawings



BILOELA SHOPPINGWORLD DEVELOPMENT CODE

Updated 2020

Banana Shire Council
PLANNING APPROVAL

24 FEB 2021

Com002-14/15

Prepared for
BILOELA SQUARE PTY LTD
12 October 2020



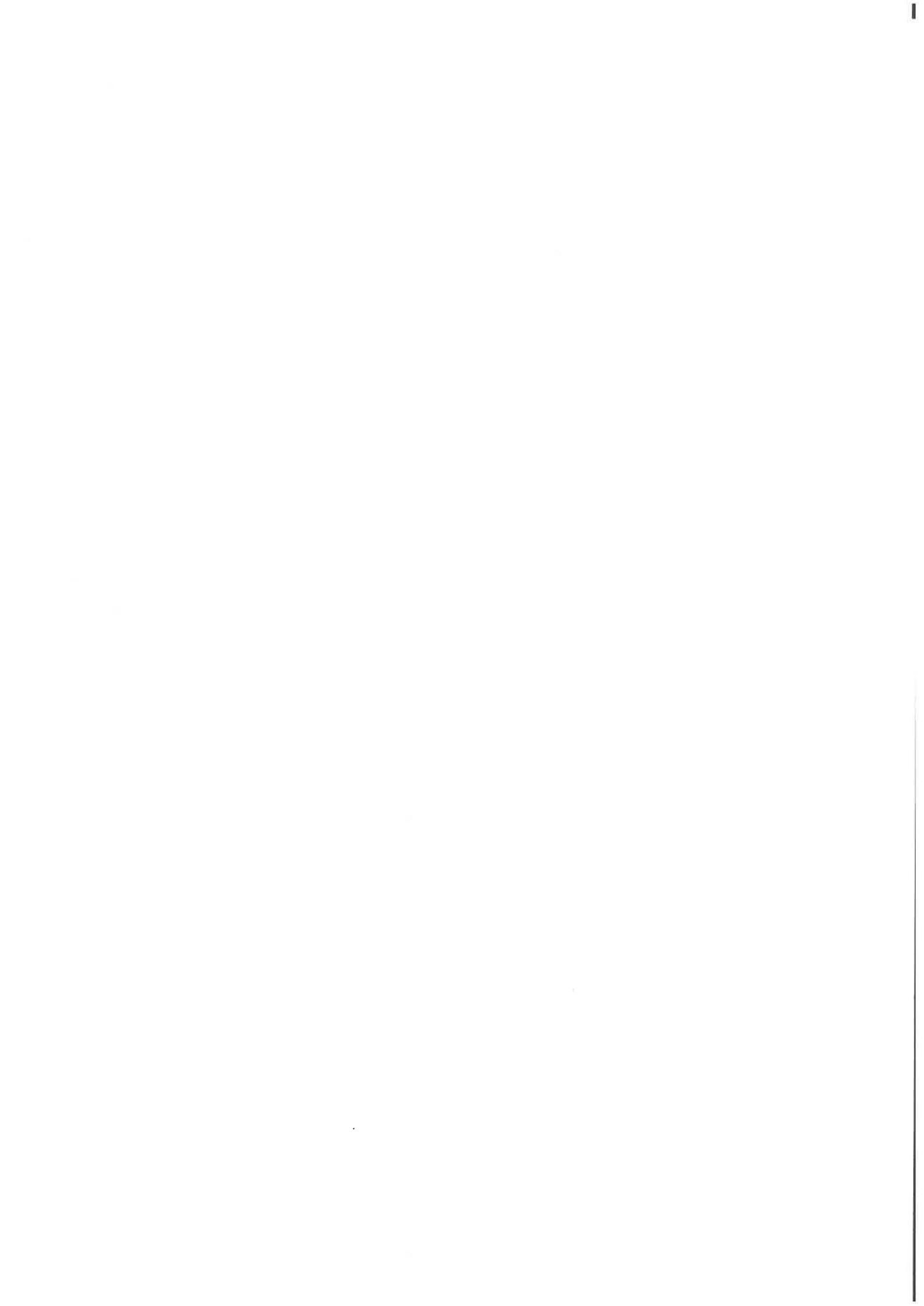
URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

Director	Kris Krpan
Associate Director	Dean Jones
Consultant	Esther Leung
Project Code	P0003578
Report Number	FINAL

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1.4.	Interpretation and Application	1
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Appendix A Development Code Maps



1. INTRODUCTION TO THE DEVELOPMENT CODE

1.1. APPLICATION

The Biloela Shoppingworld Development Code (the "Development Code") comprises information relevant to the preliminary approval to which Section 242 of the *Sustainable Planning Act 2009* (SPA), otherwise referred to as a variation approval in accordance with Section 286(6), Column 2 of the *Planning Act 2016*, applies to development of land bound by Gladstone Road, Kariboe Street, Barrett Street and Burnett Highway. This Development Code identifies the following items:

- (a) The land to which the preliminary approval relates.
- (b) The development approved by the preliminary approval.
- (c) The way in which the preliminary approval varies the effect of the *Planning Scheme*.
- (d) The levels of assessment for development.
- (e) The Development Code, which applies to particular types of development.

1.2. LAND TO WHICH THE DEVELOPMENT CODE RELATES

The land to which the preliminary approval relates is identified in **Map 1** hereinafter referred to as the "site" or the "Biloela Shoppingworld" (identified on **Map 1 – Development Code Area**).

The land parcels are described as Lot 30 on SP293577, Lot 1 on SP301589 and Lot 53 on SP126772.

1.3. ROLE AND FUNCTION

The Development Code provides a planning framework that specifies:

- (a) A framework, in the form of a single precinct, which will facilitate the orderly development of the Development Code area.
- (b) The type of development that may take place within the Development Code area.
- (c) Development criteria which form part of the common material against which subsequent development applications within the Development Code area will be assessed.
- (d) The codes applying to development within the Development Code area.

The provisions of this section are to provide guidelines for the development and management of the various parts of the Development Code area. Section 2 outlines the provisions that apply to each of the Precincts (identified on **Map 2 – Precinct Map**).

1.4. INTERPRETATION AND APPLICATION

The Development Code functions as part of the preliminary approval that varies the effect of the *Planning Scheme* in the Development Code Area, and is to be interpreted in the following manner:

- (a) Where the Precinct Map within the Development Code Area varies from the zoning map in a *Planning Scheme* Code, the Precinct Map within the Development Code Area prevails; and
- (b) In all other instances, provisions and components of the *Planning Scheme* continue to apply, insofar as they are relevant.

1.5. ELEMENTS AND PROCESS

The Development Code comprises:

- (a) Definitions of Use Groups and other terms used in the Development Code (Section 1.6).
- (b) Maps (Appendix A) in respect of the Development Code area which show:

- (c) The Development Code area boundary (refer Map 1 – Development Code Area).
- (d) Development Precinct (refer Map 2 – Precinct Map).
- (e) Levels of Assessment and Assessment Provisions that apply to subsequent applications for development approval in the Development Code Area (Section 2).

1.6. TIME LIMIT

In accordance with Section 343(3)(b) of the Act, a period of **10 years** is nominated as the prescribed period for the completion time for the Preliminary Approval.

1.7. DEFINITIONS

Refer to the Banana Shire Council Planning Scheme (adopted 25 January 2017 under the Alignment Amendment Rules and Section 293 of the *Planning Act 2016*) for the list of Use and Administrative Definitions.

The definition of *Planning Scheme* takes its meaning from the Act and relates to the Banana Shire Council Planning Scheme.

2. DEVELOPMENT CODE

2.1. DEVELOPMENT PRINCIPLES

The intent of the Biloela Shoppingworld Development Code is to ensure Biloela Shoppingworld is undertaken in a manner whereby all existing and future retail and commercial uses are appropriately zoned.

2.2. ZONE AND PRECINCT INTENTS

The Development Code comprises of a single Development Precinct, the Town Zone – Commercial Precinct.

All development is to be developed in accordance with the purpose of the Town Zone – Commercial Precinct in Section 4.4.2(2), Part C of the *Planning Scheme*.

2.3. LEVELS OF ASSESSMENT

The categories of assessment for the Town Zone - Commercial Precinct are in accordance with the following provisions of the *Planning Scheme*:

- (a) Where making a Material Change of Use: Part 4, Division 4, Table 4.4.1(1), Column 2;
- (b) Where Other Development: Part 4, Division 4, Table 4.4.1(2), Column 2; and
- (c) The Overlays in Part 5, Divisions 1-4 as they apply to development.

2.4. ASSESSMENT CRITERIA

All assessment criteria for the Biloela Shoppingworld Precinct are to be in accordance with the following provisions of the *Planning Scheme*:

- (a) Where making a Material Change of Use: Table 4.4.1(1), Column 3;
- (b) Where Other Development: Table 4.4.1(2), Column 3; and
- (c) The Overlays in Part 5, Divisions 1-4 as they apply to development.

APPENDIX A DEVELOPMENT CODE MAPS

Map One – Development Code Area

Map Two – Precinct Map



LEGEND

 Development Plan Area





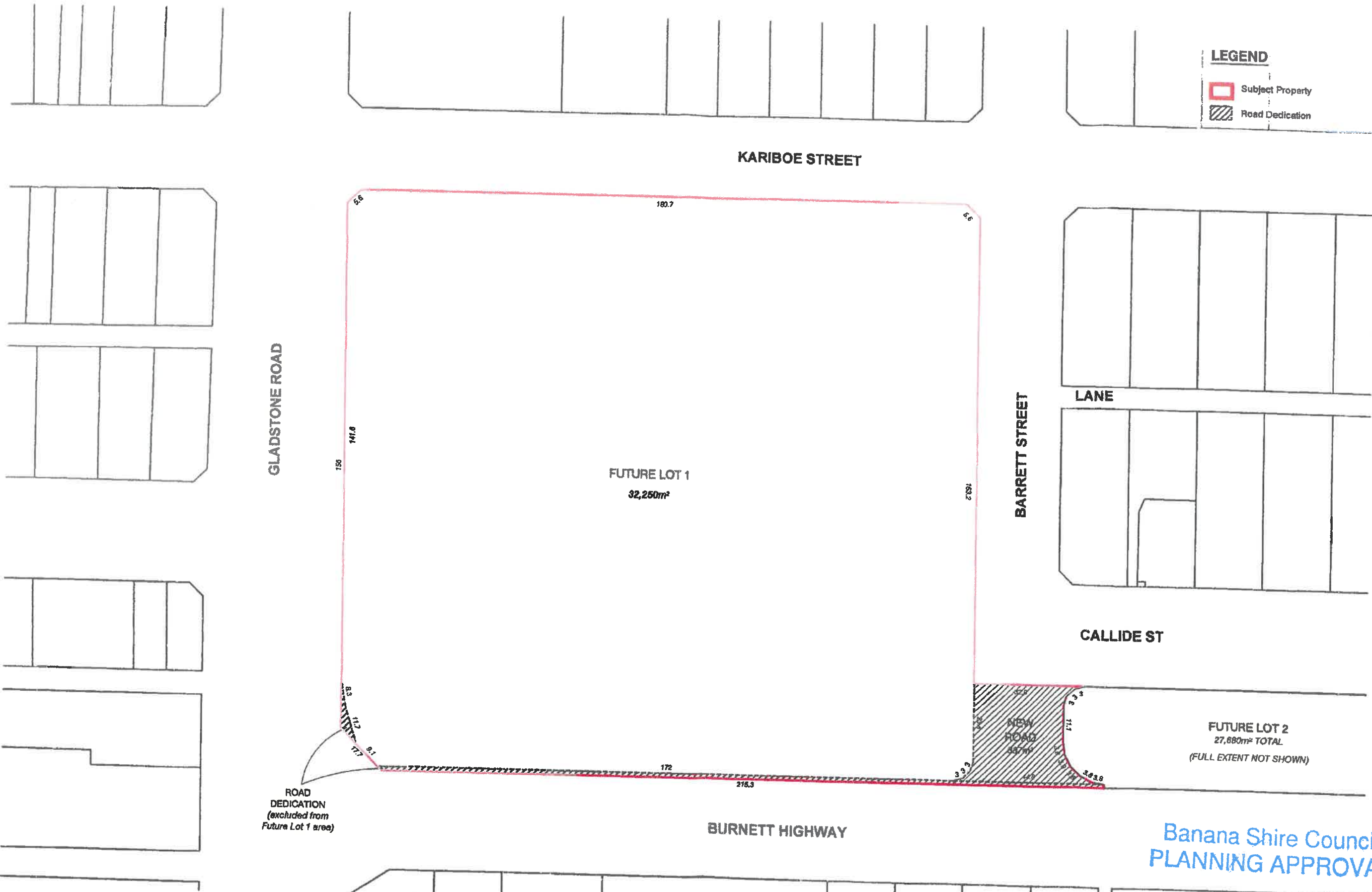
LEGEND

- Subject Property
- Biloela Shoppingworld Precinct



LEGEND

-  Subject Property
-  Road Dedication



Banana Shire Council
PLANNING APPROVAL

09 DEC 2015

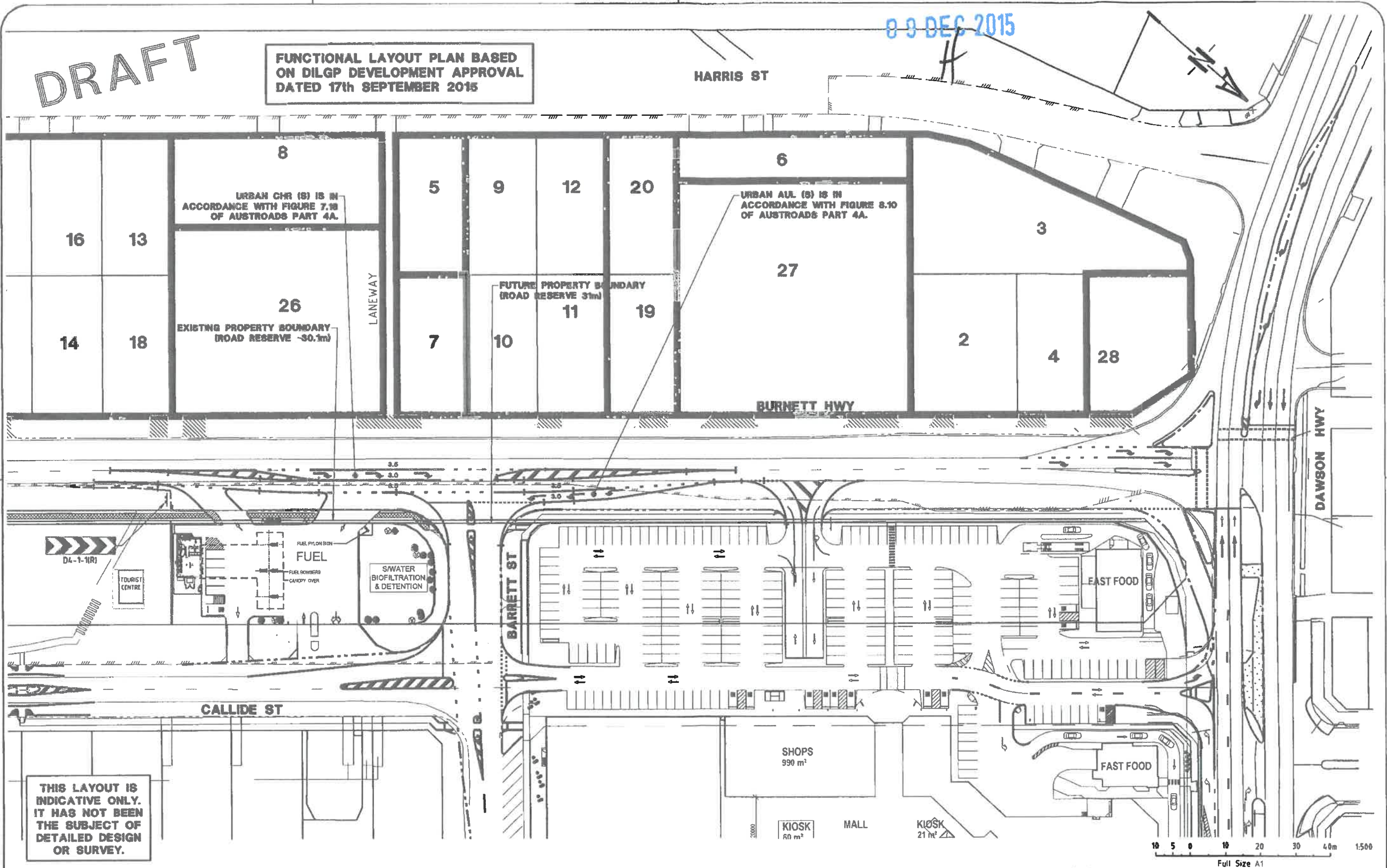


09 DEC 2015

DRAFT

FUNCTIONAL LAYOUT PLAN BASED ON DILGP DEVELOPMENT APPROVAL DATED 17th SEPTEMBER 2015



THIS LAYOUT IS INDICATIVE ONLY. IT HAS NOT BEEN THE SUBJECT OF DETAILED DESIGN OR SURVEY.

Project: BURNETT HWY, BILOELA (BILOELA SHOPPING CENTRE EXPANSION)			
EXTERNAL ROADWORKS SHOPPING CENTRE			
No.	Date	Amendment	Chk/ App
B	21/9/15	LAYOUT AMENDED	
A	9/15	ORIGINAL ISSUE	

Design	
Drawn	WMC
Checked	
Approved	
Date	SEPT 2015
Datum	
Scale	1 : 500
Sheet	1 of 1

MRCagney
ABN 11093 336 504

Level 1
18 Marie Street,
Milton
Brisbane Q. 4004
Ph : (07) 3320 3600
Fax : (07) 3320 3636
E-mail: civil@mrcagney.com

PO Box 2166
Milton
Brisbane Q. 4004

Drawing No. **3234-PR88**



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Banana Shire Council
PLANNING APPROVAL

24 FEB 2021

Comas2-19/15

FOR INFORMATION	GD	2021.01.21	6
FOR INFORMATION	GD	2021.01.18	5
FOR INFORMATION	GD	2021.01.13	4
FOR INFORMATION	GD	2020.11.16	3
FOR INFORMATION	GD	2020.11.12	2
DEVELOPMENT APPLICATION	GD	2020.10.16	1

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builder

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checked: CV
verified: CV
sheet size: A1
scale: As indicated

Biloela Shoppingworld
project

Gladstone Road,
Biloela QLD 4715
address

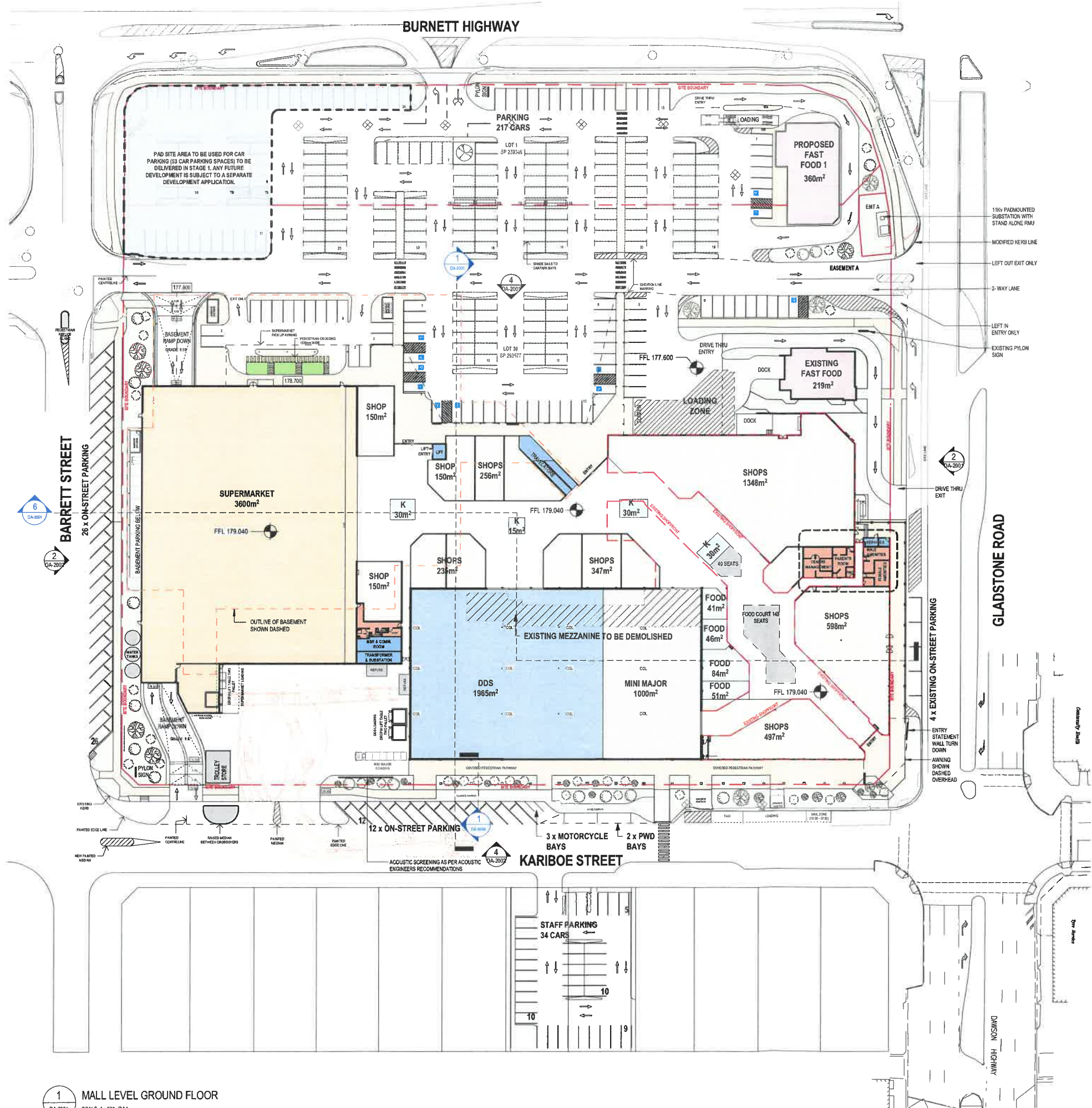
PROPOSED SITE
PLAN - STAGE 01 &
STAGE 02
SHEET

16311 DA-1001 6
PROJECT NO. SHEET NO. ISSUE

DEVELOPMENT SCHEDULE		
USE	GLA	GFA
DDS	1965m ²	1995m ²
MINI MAJOR	1000m ²	1015m ²
SUPERMARKET	3600m ²	3697m ²
SPECIALTY SHOPS	3731m ²	3780m ²
PROPOSED FOOD PREMISES	222m ²	226m ²
KIOSKS	105m ²	105m ²
FAST FOOD 1	360m ²	396m ²
EXISTING FAST FOOD	219m ²	240m ²
AMENITIES, CENTRE	-	200m ²
MANAGEMENT AND STORE	-	200m ²
TOTAL	11 202m²	11 654m²
CARPARKING		
BASEMENT LEVEL	152	
GROUND LEVEL (exc off-street)	217	
STAFF/ ADJACENT LOT	34	
MOTORCYCLE (not inc in total)	3	
ON STREET	44	
CREDIT (for carspaces paid for in previous expansion)	22	
TOTAL	469	
RATIO	4.18/ 100m²	4.02/ 100m²

GROSS FLOOR AREA
for a building, means the total floor area of all storeys of the building, measured from the outside of the external walls and the centre of any common walls of the building, other than areas used for -
(a) building services, plant or equipment; or
(b) access between levels; or
(c) a ground floor public lobby; or
(d) a mall; or
(e) parking, loading or manoeuvring vehicles; or
(f) unenclosed private balconies, whether roofed or not.

PLEASE NOTE
1. OVERALL DRAWING IS STILL AT PRELIMINARY CONCEPT STAGE AND SUBJECT TO FURTHER DETAILED DESIGN DEVELOPMENT AND CONSULTANT COORDINATION. AS A RESULT SOME OF THE DETAILING AND SETOUT MAY ALTER.
2. CARPARK RATIOS AND OVERALL DEVELOPMENT FOOTPRINT SUBJECT TO LOCAL PLANNING REVIEW AND ASSESSMENT.
3. SERVICE VEHICLE MOVEMENTS AND TRUCK PATHS SUBJECT TO TRAFFIC ENGINEERS REVIEW AND APPROVAL.

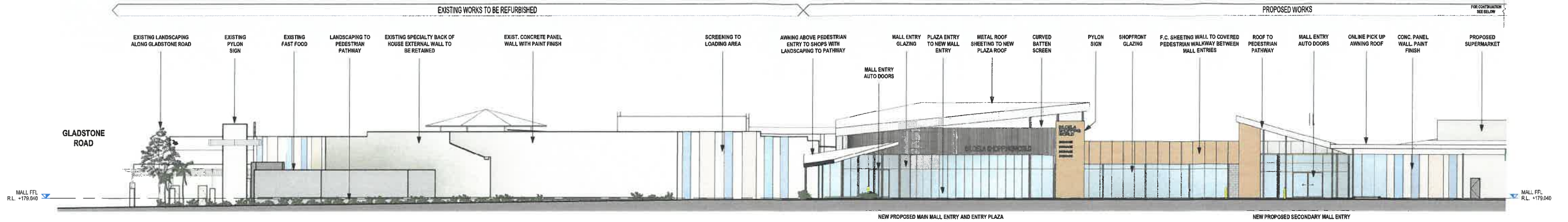


1 MALL LEVEL GROUND FLOOR
DA-2001 SCALE 1:500 @A1

21/02/2021 2:38:58 PM C:\Users\mconaghy\Documents\16311 Biloela Shoppingworld DA (RVT2020)_Comas2-19/15.dwg



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3 DA SOUTH ELEVATION - BURNETT HWY PART 01
DA-1001 SCALE 1:200 @A1

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DEVELOPMENT APPLICATION GD 2020.10.16 1
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north scale: 1:200

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Biloela Shoppingworld

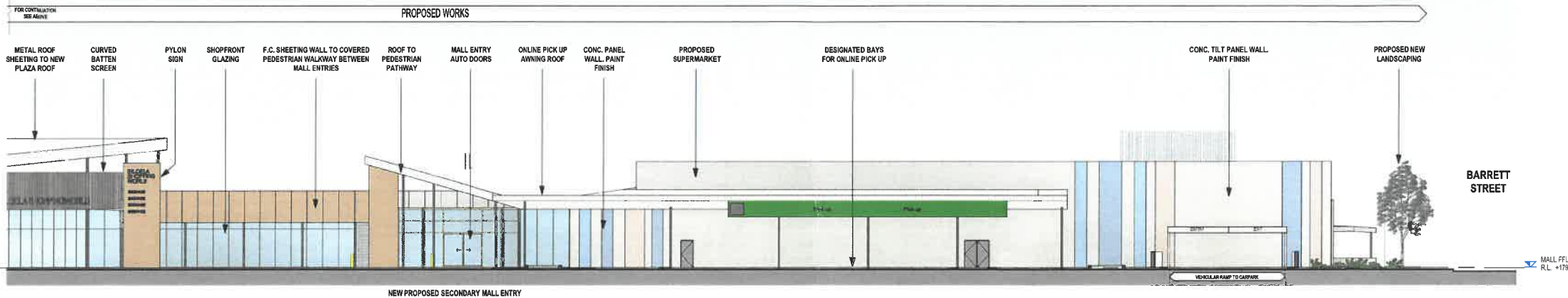
project

Gladstone Road,
Biloela QLD 4715
address

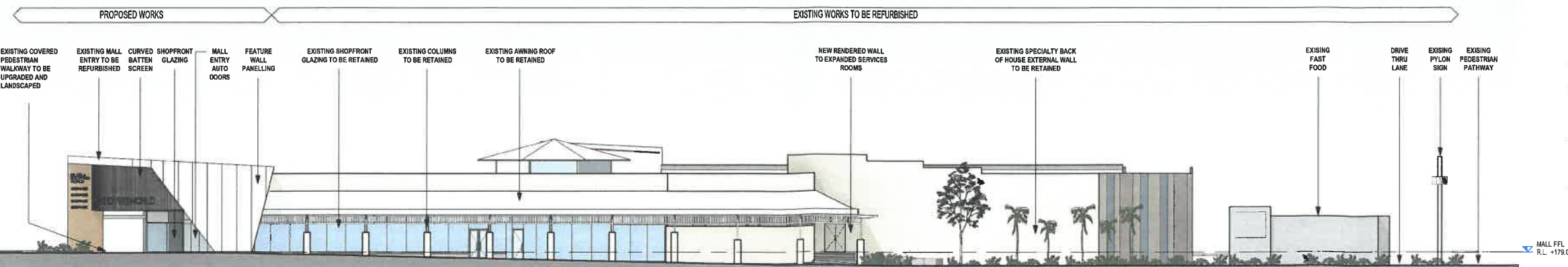
PROPOSED
ELEVATIONS
SHEET

16311
PROJECT NO.

DA-2001 1
SHEET NO. ISSUE



4 DA SOUTH ELEVATION - BURNETT HWY PART 02
DA-1001 SCALE 1:200 @A1



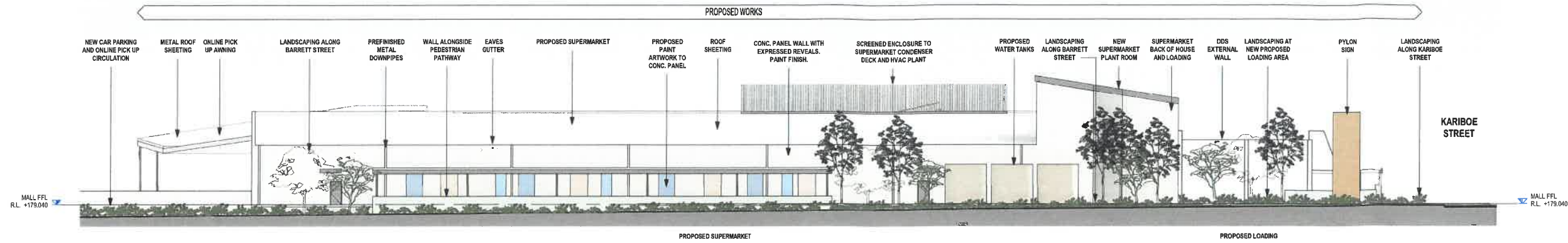
2 DA WEST ELEVATION - DAWSON HWY
DA-1001 SCALE 1:200 @A1

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02/02/2021 1:41:18 PM



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2 DA SOUTH-EAST ELEVATION - BARRETT ST
DA-1001 SCALE 1:200 @A1

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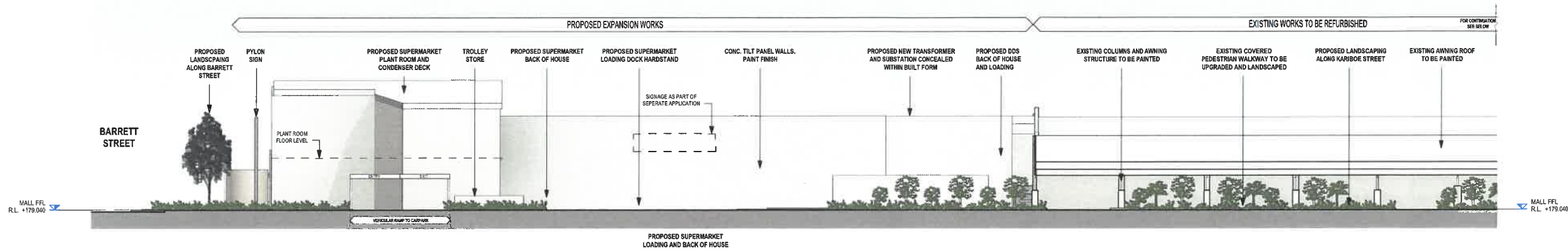
PRELIMINARY
Biloela Shoppingworld

project

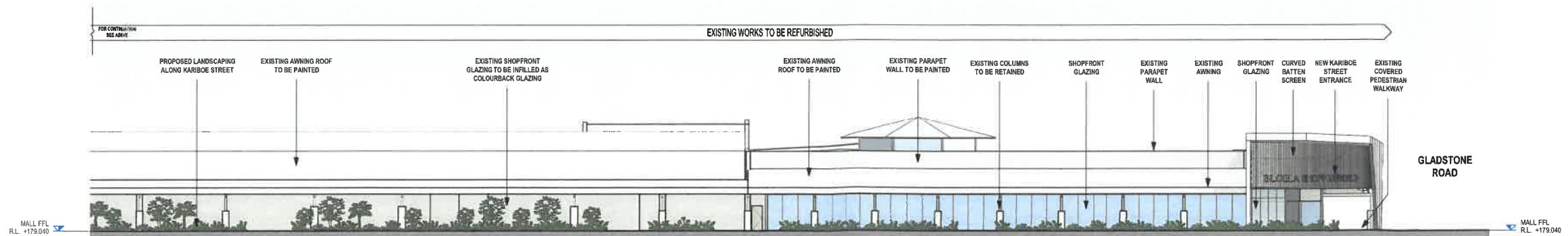
Gladstone Road,
Biloela QLD 4715
address

PROPOSED
ELEVATIONS
SHEET

16311 DA-2002 1
PROJECT NO. SHEET NO. ISSUE



4 DA NORTH-EAST ELEVATION - KARIBOE ST PART 02
DA-1001 SCALE 1:200 @A1



3 DA NORTH-EAST ELEVATION - KARIBOE ST - PART 01
DA-1001 SCALE 1:200 @A1

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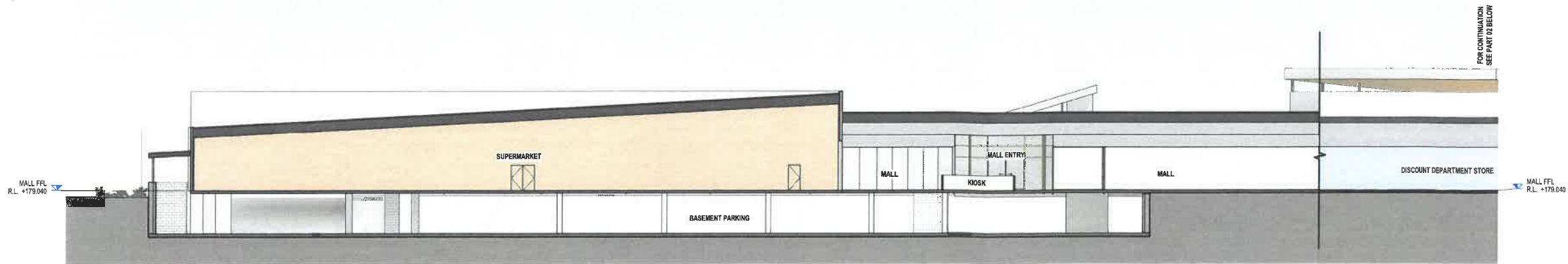


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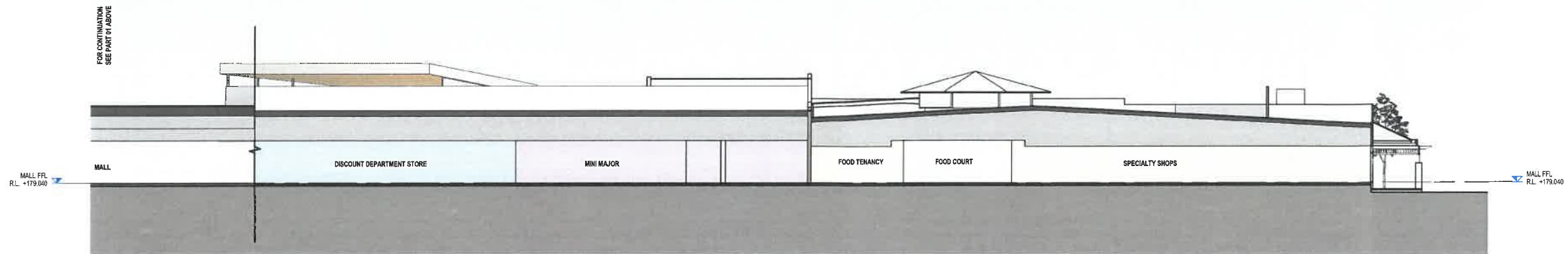
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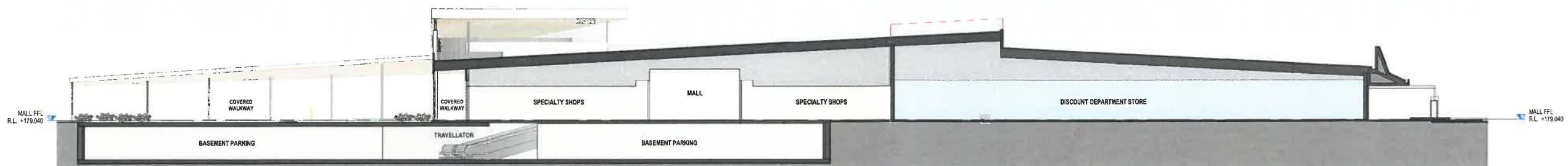
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5 DA SECTION - SUPERMARKET AND MALL - PART 01
DA-1001 SCALE 1:200 @A1



6 DA SECTION - SUPERMARKET AND MALL - PART 02
DA-1001 SCALE 1:200 @A1



1 DA SECTION - MALL ENTRY
DA-1001 SCALE 1:200 @A1



3 UPGRADED KARIBOE STREET ENTRANCE
SCALE @A1



4 BURNETT HIGHWAY ENTRANCE
SCALE @A1

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SECTIONS

SHEET

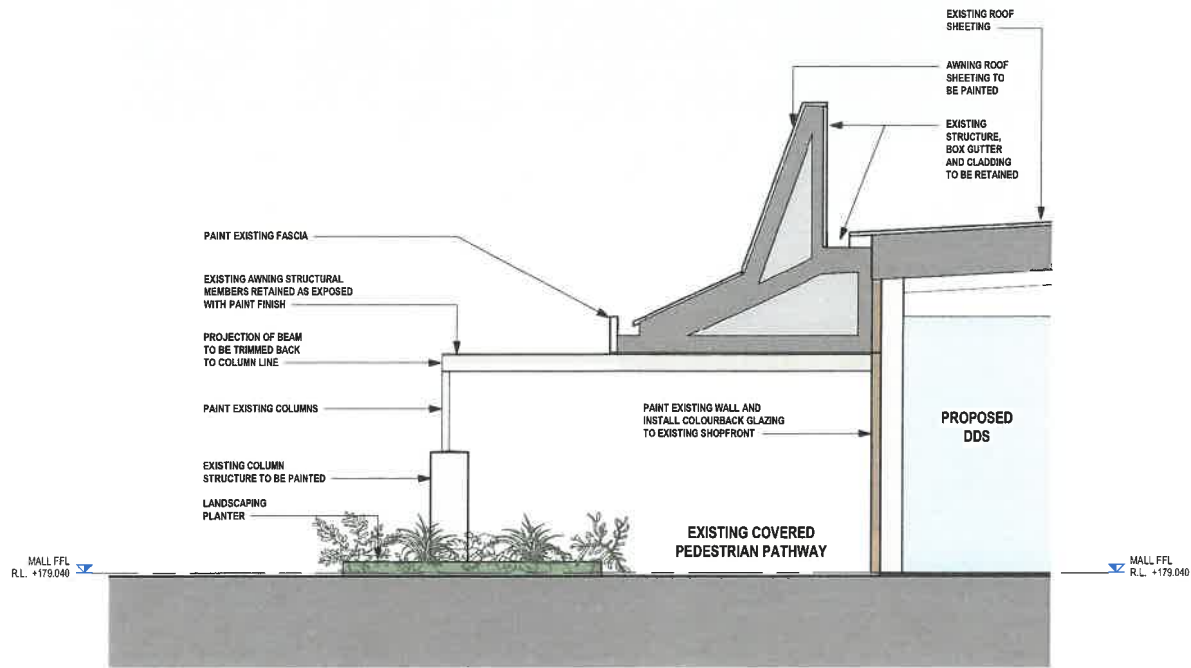
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1 DA - PROPOSED KARIBOE STREET WALKWAY
SCALE 1:50 @A1

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north

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Biloela QLD 4715

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3 KARIBOE STREET REFURBISHMENT 02
SCALE @A1



2 KARIBOE STREET REFURBISHMENT 01
SCALE @A1

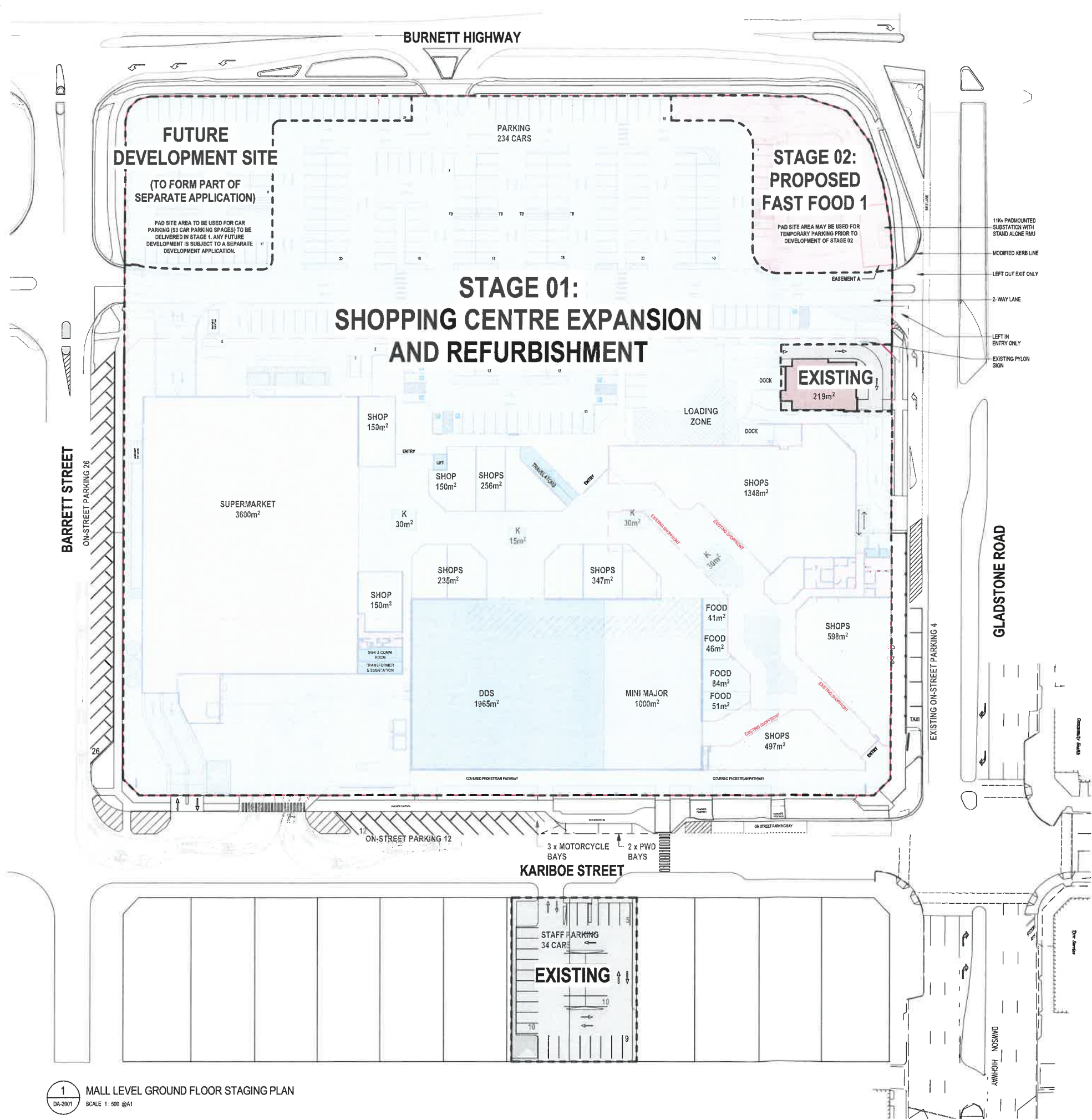
DETAILS
SHEET

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PROJECT NO.

DA-6000 1
SHEET NO. ISSUE



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DEVELOPMENT APPLICATION	GD	2020.10.16	1
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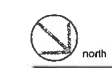
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**DEVELOPMENT
STAGING PLAN**
SHEET

16311	DA-9100	2
PROJECT NO.	SHEET NO.	ISSUE

1 MALL LEVEL GROUND FLOOR STAGING PLAN
DA-2001 SCALE 1:500 @A1

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URBIS

BILOELA SHOPPINGWORLD

LANDSCAPE REPORT

PREPARED FOR
MCCONAGHY GROUP
19 JAN 2021
FOR DA SUBMISSION
REV C

Banana Shire Council
PLANNING APPROVAL

26 FEB 2021

COM002-14/15

LANDSCAPE DESIGN INTENT

Biloela ShoppingWorld currently offers the community a mix of national and independent retailers. The centre houses a Woolworths Supermarket and over 20 specialty stores with a broad range of services.

The site can be accessed by two main roads (Burnett Highway and Gladstone Road) and two local streets.

Landscape works play an important role in the extension of Biloela ShoppingWorld. The upgrade to the landscape work will not only soften the building but also provide amenity and shade for pedestrians.

The design intent for each road and street is as follows:

Gladstone Road and Burnett Highway

- Maintain existing footpath and landscape areas along Gladstone Road;
- Improve existing garden bed areas along shop fronts
- Existing pavement along Gladstone Road to be maintained
- Integrate existing planting species and provide additional native trees and shrubs where required
- Install shrubs and ground covers to replace existing failed turf area to reduce maintenance works
- Provide native trees and shrubs as a buffer between the site and Burnett Highway

Kariboe Street

- Upgraded pedestrian footpath finish along Kariboe Street to the front entrance of the shopping centre
- Visually soften loading dock area with tree and understory planting.
- Maintain existing character, street furniture and pavement pattern where possible
- Increase planting areas along Kariboe Street to provide shade for pedestrians
- Reduce current landscape maintenance by selecting native shrubs and trees for new gardens
- Provide landscaping area adjacent the new building to soften fence and wall

Barrett Street

- Provide planting buffer and tall trees between pedestrian footpath and new building to soften the building edge
- Native broad canopy trees are suggested to be planted along Barrett Street at grade car park to provide shade for cars

BURNETT HIGHWAY



Provide planting buffer with broad canopy trees, shrubs and ground cover

Shade sails highlighted as shown. Refer to Civil Engineers drawings for further details.

Existing fastfood restaurant and surrounding landscape to be maintained and make good

Basement entry from ground level carpark

Provide tall and 'architectural' form trees (i.e. *Elaeocarpus reticulatus* or *Elaeocarpus eumundi*) to soften building

Incorporate *Callistemon salignus* for Gladstone Road frontage landscaping.

Existing awning and pavement to be maintained

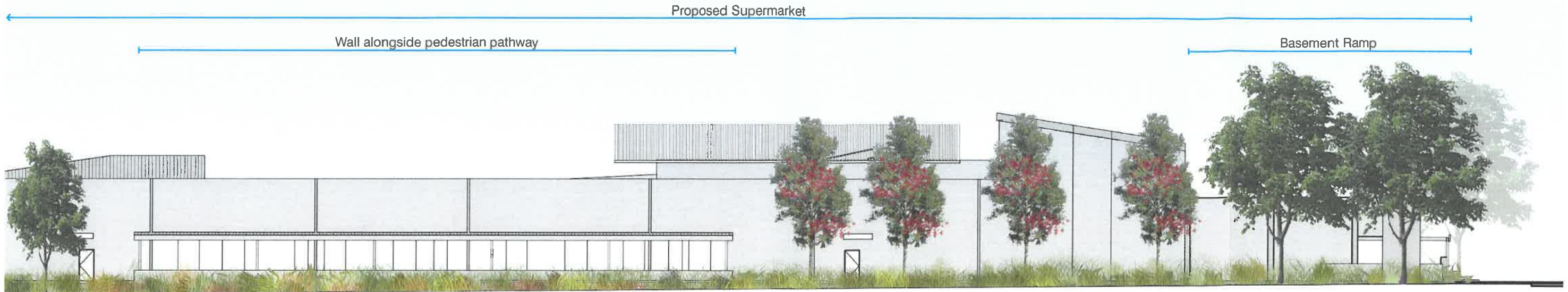
Replace turf with planting and trees (i.e. *Callistemon salignus*) to provide shade and improve amenity for pedestrians

Extend existing pavement material and pattern

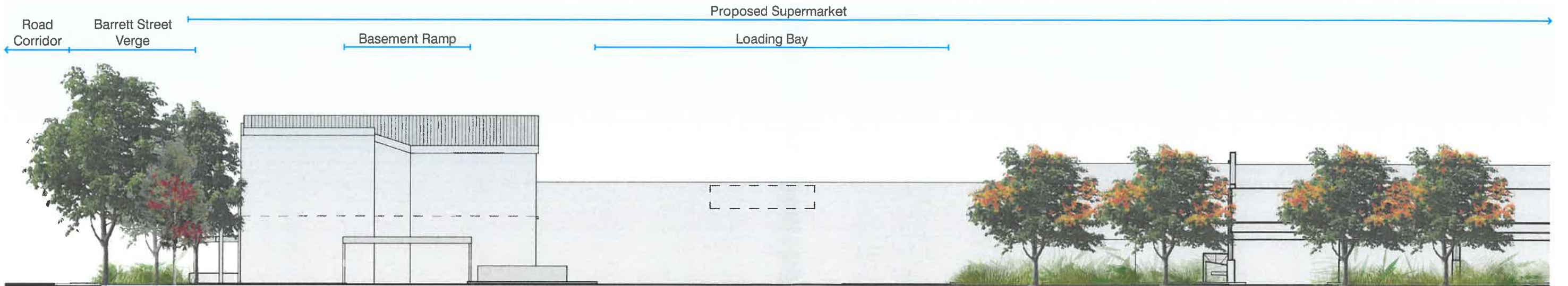
Basement entry from Kariboe Street

Provide low planting behind the signage

LANDSCAPE ELEVATIONS



ELEVATION A SCALE: 1:250 @A1



ELEVATION B SCALE: 1:250



ELEVATION C SCALE: 1:250 @A1

PLANT SPECIES

The plant selection for the site focuses on using native Australian plants, drought and flood tolerant to suit the climatic conditions in Biloela. The planting design will also minimise turf to reduce landscape maintenance by substituting native grasses and shrubs.

To highlight the shopping centre's main entrance and pedestrian footpath along Kariboe Street, we recommend plants with flowers, colours and texture, such as Grevillea, Gazania and Westringia. For the areas which have overhead power lines, low growing trees are suggested. Increasing landscaping on Kariboe Street will make a significant contribution to the high quality streetscape and strong sense of place resulting from this development.

For screening plant species along the new building, tall and 'architectural' form trees (i.e. *Elaeocarpus eumundi* & *Elaeocarpus reticulatus*) are suitable for planting against the building on Barrett Street to soften the building.

For the planting area along two main roads (Gladstone Road and Burnett Highway) and the car park area, the selection of native broad canopy trees, shrubs and grasses (i.e. *Cupaniopsis anacardioides*, *Grevillea lyre*, *Liriope Evergreen giant*, and *Liriope stripey white*) will provide a buffer between the site and road. This will also provide shade and a pleasant experience for pedestrians.

The plant palette also aims to introduce native species including *Callistemon salignus* and *Harpullia pendula* for their hardy streetscape tolerance and clear trunk. This will ensure a consistent landscape form that will seamlessly integrate the proposed centre extension with its surroundings.

TREES



Callistemon salignus



Harpullia pendula



Elaeocarpus eumundi



Elaeocarpus reticulatus



Grevillea baileyana



Cupaniopsis anacardioides

SHRUBS



Callistemon little john



Grevillea Golden Lyre



Grevillea Robyn Gordon



Eremophila maculate wendy



Eremophila maculata brevifolia



Westringia Zena

GROUND COVER



Eremophila glabra Kalbarri Carpet



Gazania Sahara



Grevillea obtusifolia Gingin Gem



Grevillea obtusifolia Gingin Gem (flower)



Grevillea Scarlet Sprite 2



Westringia Mundi



Lomandra confertifolia 'Tilga'



Liriope stripey white



Lomandra 'Shara'



Liriope Evergreen giant

Attachment 4
Infrastructure Charges Notice

Attachment 4 Infrastructure Charges Notice

ADOPTED INFRASTRUCTURE CHARGES NOTICE			
<i>Planning Act 2016 and Local Government Act 2009</i>			
TO: Biloela Square Pty Ltd			
Applicant:	Biloela Square Pty Ltd C/- Urbis Pty LTD (Dean Jones)	File Number:	COM002-14/15
Address:	2 Gladstone Road and 34 Kariboe Street, Biloela	Date of Issue:	11 February 2021
LAND TO WHICH THE INFRASTRUCTURE CHARGE APPLIES			
Planning Scheme:	Banana Planning Scheme 2005		
RPD:	Lot 30 on SP263577 , Lot 1 on SP301589 and Lot 53 on SP126772		
DEVELOPMENT TO WHICH THE ADOPTED INFRASTRUCTURE CHARGE APPLIES			
The adopted infrastructure charge applies to the following development type:			
Request to change and existing approval (minor change) in s 81 of the Planning Act 2016 made by Biloela Square PT Ltd C/- Urbis Pty Ltd on 20 October 2020 for Development Permit COM002-14/15 - Preliminary Approval under Section 241 and 242 of the Sustainable Planning Act 2009 to override the Banana Shire Planning Scheme 2005 to establish the 'Biloela Shoppingworld Plan of Development' (Impact Assessable) and for a Material Change of Use (Impact Assessable) for a Retail and Commercial Complex – incorporating Commercial Premises, Shop, Showroom and Food Premises and for Reconfiguring a Lot (Code Assessable) 5 Lots into 2 Lots and New Road and Operational Works (Code Assessable) Advertising Devices			
AMOUNT OF THE ADOPTED INFRASTRUCTURE CHARGE			
The adopted infrastructure charge has been calculated in accordance with an adopted infrastructure charge under the <i>Planning Act 2016</i> .			
Commercial (retail) category – Water and Sewerage			
Development Type	Units Payable	Current Unit Charge	Charge
Shopping centre	11,654m ² - 7,508m ² = 4,146m ²	\$45.53 (including PPI)	\$188,767.38
Total Infrastructure Charges:			\$188,767.38

ADJUSTMENTS TO THE CHARGE

The charge rates included in this notice are valid until 30 June 2021 after which they will be subject to index adjustment. Please contact Banana Shire Council's Development & Environmental Services Department – Planning Section prior to payment for a review or reissue of this notice if applicable.

DUE DATE FOR PAYMENT

Charges are payable as follows:

- (a) if the charge applies to reconfiguring a lot – prior to the signing of the Survey Plan;
- (b) if the charge applies to building work – prior to the issue of a certificate of classification; or
- (c) if the charge applies to a material change of use – before the change of use happens.

PAYMENT DETAILS

Charges are payable to **Banana Shire Council**.

Payment can be made at Council's Chambers:

62 Valentine Plains Road, VALENTINE PLAINS, BILOELA

or by mail with your cheque or money order to **Banana Shire Council, PO Box 412, BILOELA**

QLD 4715. Cheques must be made payable to Banana Shire Council and marked 'Not Negotiable'. Acceptance of a cheque is subject to collection of the proceeds. Post dated cheques will not be accepted.

GOODS AND SERVICES TAX

The Federal Government has determined that rates and utility charges levied by local government will be GST free. Accordingly, no GST is included in this infrastructure charges notice.

FAILURE TO PAY CHARGE

An adopted infrastructure charge levied by a local government is, for the purposes of recovery, taken to be a rate within the meaning of the *Local Government Act 2009*. Compound annual interest at 11% calculated daily is to be applied to an overdue charge.

This notice will lapse if the development approval stops having effect.

APPEAL RIGHTS

Attached is an extract from the *Planning Act 2016*, which details the appeal rights in relation to this notice.

Authorised by: _____


Chris Welch

DIRECTOR COUNCIL SERVICES

Chapter 4, Part 4, Division 2, Subdivision 5

124 Application of this subdivision

This subdivision applies to the recipient of an infrastructure charges notice given by a local government.

125 Representations about infrastructure charges notice

- (1) During the appeal period for the infrastructure charges notice, the recipient may make representations to the local government about the infrastructure charges notice.
- (2) The local government must consider the representations.
- (3) If the local government—
 - (a) agrees with a representation; and
 - (b) decides to change the infrastructure charges notice;
 the local government must, within 10 business days after making the decision, give a new infrastructure charges notice (a **negotiated notice**) to the recipient.
- (4) The local government may give only 1 negotiated notice.
- (5) A negotiated notice—
 - (a) must be in the same form as the infrastructure charges notice; and
 - (b) must state the nature of the changes; and
 - (c) replaces the infrastructure charges notice.
- (6) If the local government does not agree with any of the representations, the local government must, within 10 business days after making the decision, give a decision notice about the decision to the recipient.
- (7) The appeal period for the infrastructure charges notice starts again when the local government gives the decision notice to the recipient.

126 Suspending relevant appeal period

- (1) If the recipient needs more time to make representations, the recipient may give a notice suspending the relevant appeal period to the local government.
- (2) The recipient may give only 1 notice.
- (3) If the representations are not made within 20 business days after the notice is given, the balance of the relevant appeal period restarts.
- (4) If representations are made within the 20 business days and the recipient gives the local government a notice withdrawing the notice of suspension, the balance of the relevant appeal period restarts the day after the local government receives the notice of withdrawal.

Schedule 1, Table 1, Item 4

Infrastructure charges notices

An appeal may be made against an infrastructure charges notice on 1 or more of the following grounds—

- (a) the notice involved an error relating to—
 - (i) the application of the relevant adopted charge; or*Examples of errors in applying an adopted charge—*
 - the incorrect application of gross floor area for a non-residential development
 - applying an incorrect ‘use category’, under a regulation, to the development
- (ii) the working out of extra demand, for section 120; or
- (iii) an offset or refund; or
- (b) there was no decision about an offset or refund; or
- (c) if the infrastructure charges notice states a refund will be given—the timing for giving the refund; or
- (d) for an appeal to the P&E Court—the amount of the charge is so unreasonable that no reasonable relevant local government could have imposed the amount.

Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
The person given the infrastructure charges notice	The local government that gave the infrastructure charges notice	—	—

Attachment 5 Environmental Obligations

SCHEDULE A – General

- A1 The *Environmental Protection Act 1994* places a general environmental duty on everyone. Activity that causes or is likely to cause environmental harm must not be carried out unless all reasonable and practicable measures are taken to prevent or minimise the harm. Anyone becoming aware of serious or material environmental harm being caused or threatened by an activity they are involved in, has a duty to report that harm.
- A2 It is an offence under the *Environmental Protection Act 1994* to cause environmental nuisance. Environmental nuisance includes unreasonable interference caused by noise, dust, fumes, odour, smoke, aerosols, particles or light.
- A3 All reasonable precautions must be taken to avoid or minimise nuisance to adjacent premises or other property during construction work on the site, to the satisfaction of Council. Such precautions are to be discussed and agreed to by Council prior to construction commencing and will form part of the Construction Site Management Plan.

SCHEDULE B - Noise

- B1 Activities must be managed such that noise emissions from the premises do not cause harm or nuisance to adjoining residents and comply with the requirements of the *Environmental Protection Act 1994* and *Environmental Protection (Noise) Policy 2008*.
- B2 Noise must not be emitted outside the hours specified below-

Noise Source	Allowable Hours
Building work <i>(Builders and owner-builders, including excavation. For home renovations or other uses refer to regulated devices)</i>	6:30am and 6:30pm Monday to Saturday, excluding public holidays.
Regulated devices <i>(eg mowers, power tools, compressors, leaf blowers, nail guns etc)</i>	7:00am to 7:00pm Monday to Saturday 8:00am to 7:00pm Sundays and public holidays
Amplifier devices <i>(other than indoor venues and open air events)</i>	7am to 10pm Business days 8am to 6pm Other days

- B3 All noise producing machinery and equipment (including air conditioners, compressors and cooling systems) are to be fitted with noise attenuation features so that noise at the boundary of the site does not exceed the levels indicated in the table below-

NOISE LIMITS AT A NOISE SENSITIVE PLACE	
Period	Noise Level at a Noise Sensitive Place (ie a residence)

	Measured as the Adjusted Maximum Sound Pressure Level (<i>L_{Amax adj, T}</i>)
7 am – 10 pm	Background noise level plus 5 dB(A)
10 pm – 7 am	Background noise level plus 3 dB(A)
Sundays and Public Holidays	Background noise level plus 5 dB(A)
NOISE LIMITS AT A COMMERCIAL PLACE	
Period	Noise Level at a Commercial Place measured as the Adjusted Maximum Sound Pressure Level (<i>L_{Amax adj, T}</i>)
7 am - 10 pm	Background noise level plus 10 dB(A)
10 pm - 7 am	Background noise level plus 8 dB(A)
Sundays and Public Holidays	Background noise level plus 8 dB(A)

SCHEDULE C – Air and Light

- C1 Air and light emissions must be appropriately managed to prevent environmental nuisance beyond the boundaries of the property during all stages of the development including earthworks and construction.
- C2 Suitable dust suppression should be used and/or screens or barriers should be erected, where required during excavation and building works, to reduce the emission of dust or other such emissions from the site.
- C3 All artificial illumination is to be designed and installed so as not to cause a nuisance to occupants of nearby premises and any passing traffic. Security and flood lighting is to be directed away from adjacent premises to minimise the protrusion of light outside the site.

SCHEDULE D – Water and Stormwater

- D1 It is an offence under the *Environmental Protection Act 1994* to discharge sand, silt, mud and other such contaminants to a stormwater drain, roadside gutter or a water course.
- D2 During construction, stockpiles and areas of bare soil or earth that are likely to become eroded must be adequately protected – by upslope surface water diversion, downslope sediment fencing and/or temporary surface coverings.
- D3 It is an offence under the *Environmental Protection Act 1994* to discharge oils, chemicals, cement or concrete, paint, thinner, degreaser, rubbish and other such contaminants to a stormwater drain, roadside gutter or a water course.
- D4 Any spills of oils, paints, chemicals etc must be contained and cleaned up as soon as possible.
- D5 Concrete, paint or thinner waste must not be washed out near a drain, gutter or anywhere waste could end up in a water course – appropriate containment and disposal should be used rather than discharging to the ground.

SCHEDULE E – Waste Management

- E1 It is an offence under the *Waste Reduction and Recycling Act 2011* to leave litter behind or allow litter to blow from site. All waste must be appropriately contained on site prior to removal.

- E2 All waste should be collected by a licensed contractor and taken to an approved waste disposal facility by an approved transporter.
- E3 Trap Gully Landfill is the only approved waste facility within the Banana Shire for the disposal of commercial waste. No commercial waste is to be deposited at other Banana Shire landfills or transfer stations without prior written approval from Council.
- E4 It is an offence under the *Environmental Protection Regulation 2008* to fail to comply with signage or directions at a waste facility.
- E5 Any building repairs involving asbestos material must be undertaken in accordance with Workplace Health and Safety requirements.
- E6 Regulated waste (including asbestos) is only to be disposed of at Trap Gully Landfill and an application form must be completed and approved prior to disposal.
- E7 Council will not enter onto private property to service wheelie bins, any bins to be serviced by Council will be required to be placed at the kerbside for collection.

SCHEDULE F – Land

- F1 A landowner has an obligation to take reasonable steps to keep their land free of declared pests in accordance with the *Land Protection (Pest and Stock Route Management) Act 2002*. Consideration should be given to appropriate treating of declared pest plants, where necessary, in the construction and operational phases of the proposed development to meet the obligations under this Act.