

GENERAL NOTES

1. USE FIGURED DIMENSIONS. DO NOT SCALE FROM THE DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION OR FABRICATION. IT REMAINS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES
2. FIGURED DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE FROM DRAWINGS.
3. ALL CONSTRUCTION SHALL CONFORM TO THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS.
4. ALL MATERIALS TO BE NEW UNLESS SPECIFIED OTHERWISE.
5. REFER TO ENGINEERS DRAWINGS FOR DESIGN OF WIND LOADING, BRACING AND FRAMING DETAILS.
6. STEEL WORK TO BE IN ACCORDANCE WITH ENGINEERS DETAILS AND SPECIFICATIONS AND RELEVANT AUSTRALIAN STANDARDS.
7. EXTENT OF CONTRACTOR'S AREA - SITE BOUNDARY OR AS AGREED WITH OWNER.
8. WHERE AN ITEM IS NOTED, IT IS ASSUMED THE BUILDER SHALL ALLOW FOR ITS CONNECTION TO THE BUILDING SYSTEMS, REGARDLESS IF SHOWN OTHERWISE ON CONSULTANT DRAWINGS (I.E. A FIELD INLET SHOWN IS TO BE CONNECTED TO THE SW SYSTEM).
9. THE BUILDER ACCEPTS TO SUPPLY AND INSTALL ALL ITEMS NOTED ON THE ARCHITECTURAL & CONSULTANT DRAWINGS. NOT ALL TRADE SPECIFIC DETAIL MAY BE SPECIFIED IN THE ONE PARTICULAR CONSULTANT DOCUMENTS & MAY BE SPREAD OVER SEVERAL DRAWINGS.

WHS

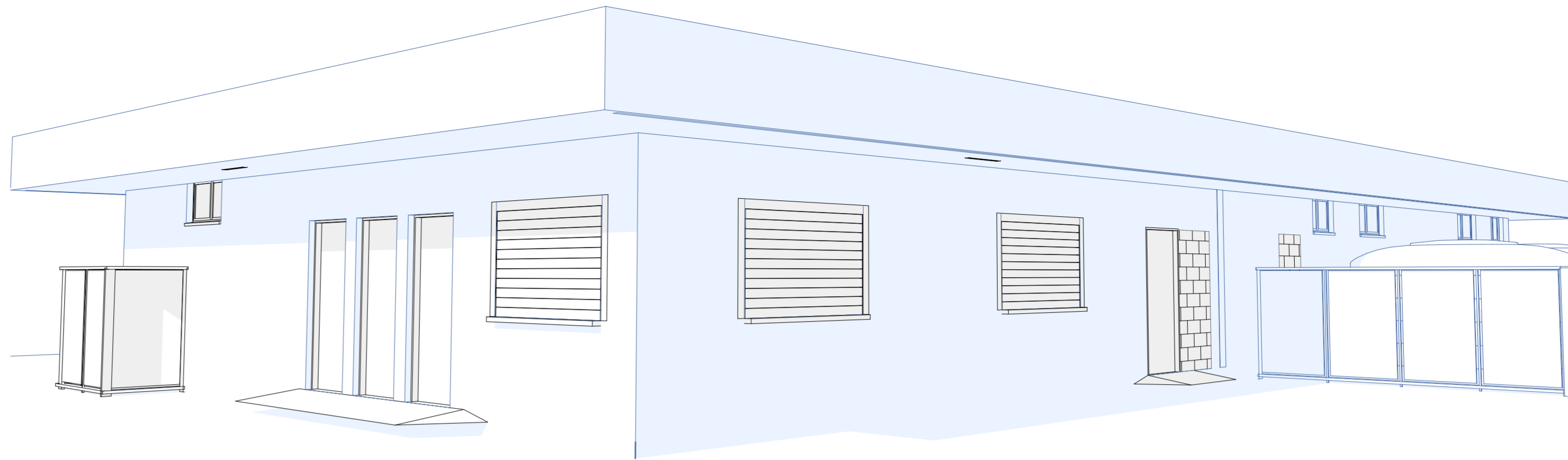
1. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT IS NOT EXCLUDED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.
2. WORKPLACE HEALTH AND SAFETY MATTERS AND CONDITION OF THE SITE ARE IN THE FIRST INSTANCE THE RESPONSIBILITY OF THE PRINCIPAL CONTRACTOR.

TENDERING

1. CONTRACTORS SHALL VISIT THE SITE PRIOR TO TENDERING TO FAMILIARISE THEMSELVES WITH ACCESS AND SITE CONDITIONS. FAILURE TO DO SO WILL NOT BE GROUNDS FOR A CLAIM FOR ITEMS WHICH AN INSPECTION WOULD HAVE DISCLOSED.
2. REPORT ANY DISCREPANCIES (ON DRAWING OR ON-SITE) TO THE DESIGNER BEFORE COMMENCING OR CONTINUING CONSTRUCTION.

ENERGY EFFICIENCY

1. ENERGY EFFICIENCY REPORT REQUIREMENTS OF THIS DEVELOPMENT MUST BE CARRIED OUT AS PART OF THE PROPOSED DEVELOPMENT TO COMPLY WITH THE QDC 4.1 AND THE BCA 3.12 A FORM 16 - ASPECT CERTIFICATE TO CONFIRM COMPLIANCE WITH THE ENERGY REPORT.



PERSPECTIVE VIEW

DRAWING LIST		
Drawing No:	Description	Issue
BA/01	Cover Sheet	A
BA/02	WHS	A
BA/03	Location Plan	A
BA/04	SITE PLAN	A
BA/05	EXISTING & DEMOLIT...	A
BA/06	Proposed Ground Floor...	A
BA/07	Typical Section 1/2	A
BA/08	Ceiling Plan	A
BA/09	Roof Plan	A
BA/10	Exterior Elevations	A
BA/11	Kitchen Int Elevations	A
BA/12	Canteen Internal Elevat...	A
BA/13	CHANGE ROOMS	A
BA/14	Electrical Layouts	A

BCA
CLASS 6 SPORTS BUILDING
SELF ASSESSABLE

LOCAL AUTHORITY
Banana Shire Council

STRUCTURAL ENGINEERING
Engineering (TBA)

SOIL CLASSIFICATION
N/A

ENERGY EFFICIENCY
N/A

ELECTRICAL & MECHANICAL ENGINEER
Consulting Engineers (TBA)
MSB - Anderson Consulting Electrical

HYDRAULIC ENGINEER
Consulting Engineers - D & C

BUILDING CERTIFICATION
Banana Shire Council

WORKPLACE HEALTH & SAFETY
REFER DRAWINGS BA02

**PROPOSED
REFURBISHMENTS
SPORTS CLUB**

**RAINBOW BILOLEA
QLD 4715**

for

**Banana Shire
Council**

The builder shall check and verify all all dimensions on site
Not to be used for construction, until issued as such.
IF IN DOUBT CHECK

REV ID	Transmittal Set Date	DESCRIPTION
A	21/08/2024	TENDER

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QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial



Client
Banana Shire Council
Project Name
**PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715**

Drawing Title:
**Building Plans
Cover Sheet**

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/01

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

Construction of this building will require loading and unloading of materials on the roadway.

Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.


10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*.

All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

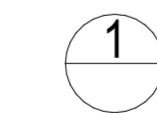
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

The builder shall check and verify all all dimensions on site Not to be used for construction, until issued as such. IF IN DOUBT CHECK				Mailing Address 262 Grubb St Koongal QLD 4701 e: andrew@amfbuildingdesign.com.au m 0423 375 400		Client Banana Shire Council Project Name PROPOSED REFURBISHMENTS SPORTS CLUB RAINBOW BILOLEA QLD 4715	Drawing Title: Building Plans WHS	Scale: As shown	Date: JULY 24
			Status: CD					Checked By:	
			Project No: AMF 24584					Drawing No.: BA/02	
	A	21/08/2024	TENDER	QBCC No 1068756 ABN 22143 527 198 all projects residential,commercial,industrial					
	REV ID	Transmittal Set Date	DESCRIPTION						

SITE NOTES.

1. BUILDER TO CONFIRM ALL DIMENSIONS, BUILDING SETBACKS AND PROPOSED BUILDING LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. BUILDER TO LOCATE AND CONFIRM THE POSITION OF ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD SITE CONDITIONS DIFFER FROM THOSE INDICATED SEEK INSTRUCTIONS FROM THE DESIGNER.
3. SEWER LOCATION & CONNECTION POINT ARE APPROXIMATE ONLY TO BE CONFIRMED PRIOR TO CONSTRUCTION.
4. SITE SETBACKS ARE APPROXIMATE - LOCATION SURVEY REQUIRED BY LICENCED SURVEYOR PRIOR TO CONSTRUCTION.
5. AMF Building Design WAIVES ANY RESPONSIBILITY FOR ANY EVENTS ARISING FROM NOT ENGAGING AND USING INDUSTRY REGISTERED BUILDING CERTIFIERS, STRUCTURAL, HYDRAULIC, MECHANICAL AND CIVIL ENGINEERS, SURVEYORS, TOWN PLANNERS AND BUILDERS.
6. THE BUILDER IS RESPONSIBLE FOR ENGAGING A REGISTERED CADASTRAL SURVEYOR PRIOR TO AND DURING CONSTRUCTION.
7. WHILST AMF Building Design TAKES CARE TO ENSURE MEASUREMENTS ARE ACCURATE WITHIN REASON, THE NATURE OF DESIGNING WITHIN EXISTING STRUCTURES WHICH MAY BE OUT OF SQUARE, NOT LEVEL OR HAVE FEATURES NOT READILY VISIBLE LIMITS DESIGNER TO BEST EFFORT. IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL MEASUREMENTS AND SPECIFICATIONS PRIOR TO COMMENCING THE BUILD AND CONTACT DESIGNER FOR ANY CLARIFICATION.

EXTENT OF CONTRACTOR'S AREA - SITE BOUNDARY OR AS AGREED WITH OWNER.



AHD
Scale 1:5000

R.P.D
LOT 1 SP252847
RAINBOW BILOLEA QLD 4715
Banana Shire Council

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all projects	
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Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Location Plan

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/03

Legend located on next page

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Queensland Globe



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0 100 metres
Scale: 15000
Printed at: A3
Print date: 7/7/2024

Not suitable for accurate measurement.
Projection: Web Mercator EPSG:102100 (8857)
us.html
For more information, visit <https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>



LEGEND	
AC	AIR CONDITIONER
CPD	CUPBOARD
C.TILES	CERAMIC TILES
DH	DOUBLE HUNG WINDOW
DP	DOWNPIPE
DR	CLOTHES DRYER
DW	DISHWASHER
HB	HAND BASIN
MSB	MAIN SWITCH BOARD
PTY	SLIDE OUT PANTRY
MV	MECHANICAL VENT
RD	GARAGE DOOR
REF	REFRIDGERATOR
RH	RANGE HOOD
SA	SMOKE ALARM
SD	SLIDING GLASS DOOR
SHW	SHOWER
SSS	STAINLESS STEEL SINK
SW	SLIDING WINDOW
S/A/C	SPLIT AIR CONDITIONER
TR	TOWEL RAIL
TRH	TOILER ROLL HOLDER
WC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN
VB	VANITY BASIN
VYL	VINYL FLOOR FINISH
D1	DOOR NUMBER 1
W8	WINDOW NUMBER 8



GENERAL NOTES
 CONTRACTOR AND ALL SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION.

CONTRACTORS SHALL REPORT ANY DISCREPANCIES (ON THE DRAWINGS OR ON SITE) TO SUPERINTENDANT BEFORE COMMENCING OR CONTINUING WITH CONSTRUCTION. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORKMANSHIP IS TO COMPLY IN ALL RESPECTS WITH THE RELEVANT AUSTRALIAN STANDARDS.

THE BUILDING IS TO REMAIN USEABLE BY THE Banana Shire Council AT ALL TIMES (INCLUDING POWER/AC/ ACCESS) IN ADVANCE ADVISE Banana Shire Council OF ANY REQUIRED POWER OUTAGES. THE BUILDER IS TO PROVIDE 7 DAYS NOTICE TO THE Banana Shire Council FOR APPROVAL. CONSTRUCTION WORK IS TO BE ADEQUATELY BARRICADED FROM THE EXISTING WORKSHOP WITH CONSTRUCTION HOARDING (PLYWOOD OR SIMILAR) AND FIXED SECURELY SO IT CAN'T BE PUSHED OR FALL OVER.

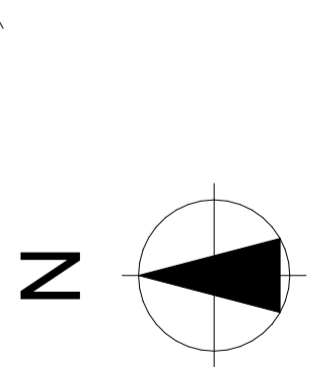
FIRE EVACUATION PATH SHALL BE MAINTAINED AT ALL TIMES, PARTICULARLY WHEN THE SITE IS CLOSED

ALL CONSTRUCTION DUST AND MESS IS TO BE REMOVED AND EXISTING TO BE CLEANED / REPLACED TO MAKE GOOD.

THE SITE IS TO BE KEPT CLEAN AND TIDY AT ALL TIMES.

3

Site Plan
 Scale 1:200



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QBCC No 1068756
 ABN 22143 527 198
 all projects residential,commercial,industrial

Client
 Banana Shire Council
 Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB RAINBOW
 BILOLEA QLD 4715

Drawing Title:
Building Plans
SITE PLAN

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/04

DEMOLITION NOTES

1. PROTECT EXISTING BUILDING, EXTERNAL WALLS, ROOF, SOFFITS, AND FLOOR SLABS, AND FOOTPATHS FROM CONSTRUCTION DAMAGE AND DUST FOR THE DURATION OF THE DEMOLITION AND CONSTRUCTION PERIOD. USE A COMBINATION OF SAFETY BARRICADES, HESSIAN AND DROP SHEETS TO PROTECT THE EXISTING SCHOOL BUILDINGS FROM MOVEMENT OF CONSTRUCTION EQUIPMENT, DUST AND DAMAGE

2. CAP, ISOLATE AND SAFELY TERMINATE ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION.

3. MAKE GOOD ALL EXISTING SURFACES WHERE DISTURBED BY THE DEMOLITION / NEW WORKS. MAKE GOOD (INCL. TOUCH UP & PAINT) ALL CEILINGS, WALLS, CORNICES & SKIRTINGS WHERE DISTURBED TO MATCH EXISTING BY DEMOLITION WORK AND NEW WORKS.

4. MAINTAIN EXISTING SERVICES (POWER, LIGHTING, DATA, A/C, WATER, DRAINAGE, FIRE DETECTION, ELECTRONIC SECURITY) TO NON-RENOVATED PARTS OF EXISTING BUILDING. I.E EXIT LIGHTING FOR THE DURATION OF THE CONSTRUCTION PERIOD. ADVISE THE Banana Shire Council IN ADVANCE OF ANY PLANNED DISRUPTION TO EXISTING SERVICES.

NOTES.

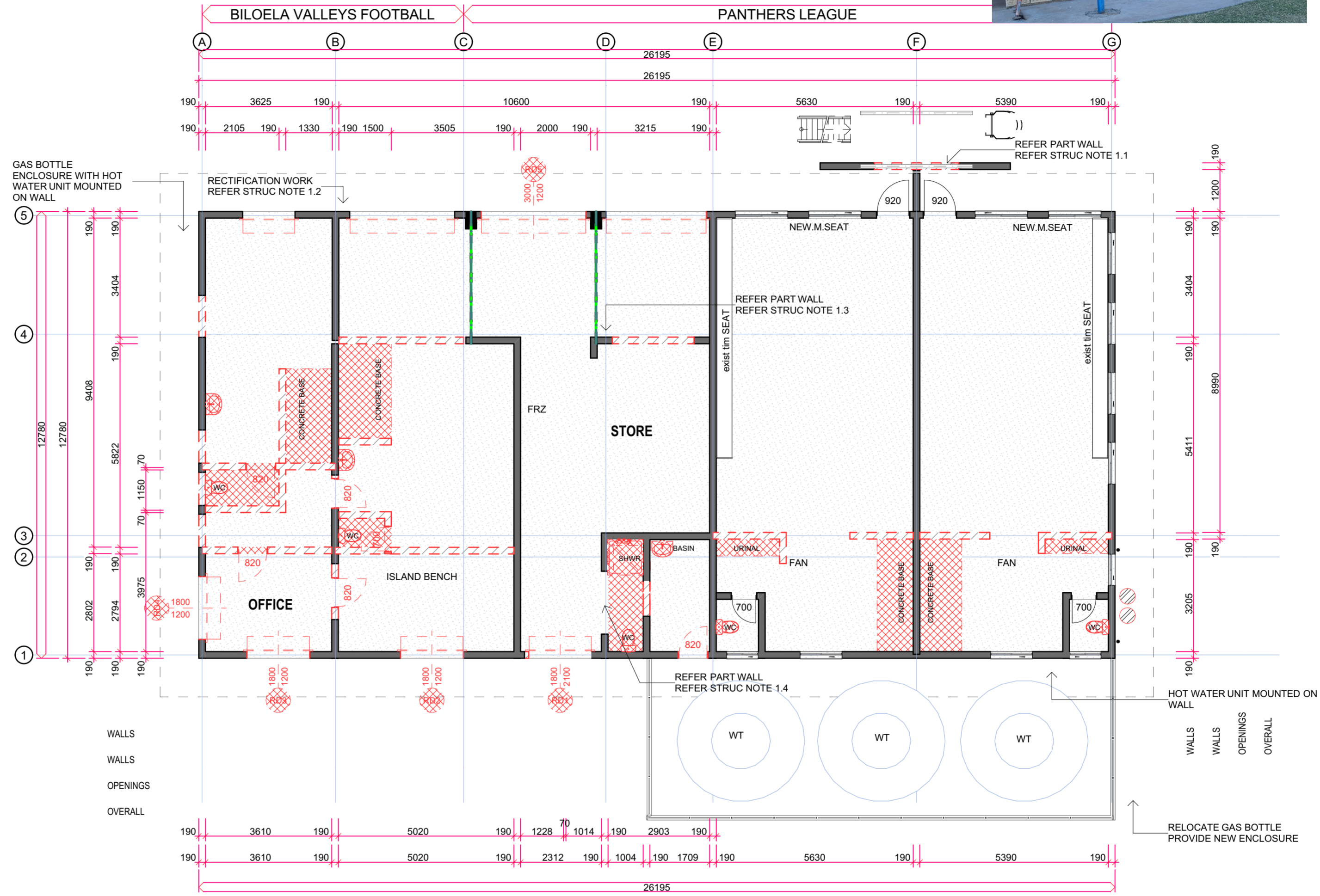
1.1 REMOVE PART WALL TO PROVIDE 1400 WIDE OPENING EACH SIDE ENSURE 400MM BLOCK SUPPORT EACH SIDE FOR E.150 I BEAM. ENSURE BLOCK CORE FILLED

1.2 EXISTING CRACK ADJACENT TO COLUMN RECTIFICATION

1.3 REMOVE PART WALL ENSURE 500MM NIB EACH SIDE

1.4 ENLARGE OPENINGS SUITABLE FOR 920 DOOR LEAF OPENING.

1.5 CUT IN 1800MM WIDE OPENING ENSURE NON LOAD BEARING LOAD BEARING - PROVIDE GALV STEEL LINTEL



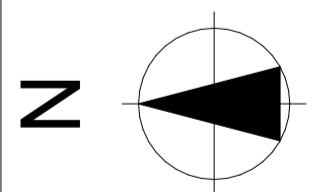
LEGEND

AC	AIR CONDITIONER
CPD	CUPBOARD
C.TILES	CERAMIC TILES
DP	DOWNPIPE
HB	HAND BASIN
MSB	MAIN SWITCH BOARD
MV	MECHANICAL VENT
RD	GARAGE DOOR
REF	REFRIDGERATOR
SA	SMOKE ALARM
SD	SLIDING GLASS DOOR
SHW	SHOWER
SSS	STAINLESS STEEL SINK
SW	SLIDING WINDOW
S/AC	SPLIT AIR CONDITIONER
TR	TOWEL RAIL
TRH	TOILER ROLL HOLDER
WC	TOILET SUITE
VB	VANITY BASIN
D1	DOOR NUMBER 1
W8	WINDOW NUMBER 8



DESIGN & CONSTRUCTION DOCUMENTATION COMPILED TO ACQUIRE TENDER PRICE. FURTHER MORE DESIGN AND DOCUMENTATION MAY BE REQUIRED PRIOR TO CONSTRUCTION AND TO OBTAIN APPROVAL.

4 DEMOLITION- GROUND FLOOR PLAN
Scale 1:100



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Project Name
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RAINBOW
BILOLEA QLD 4715

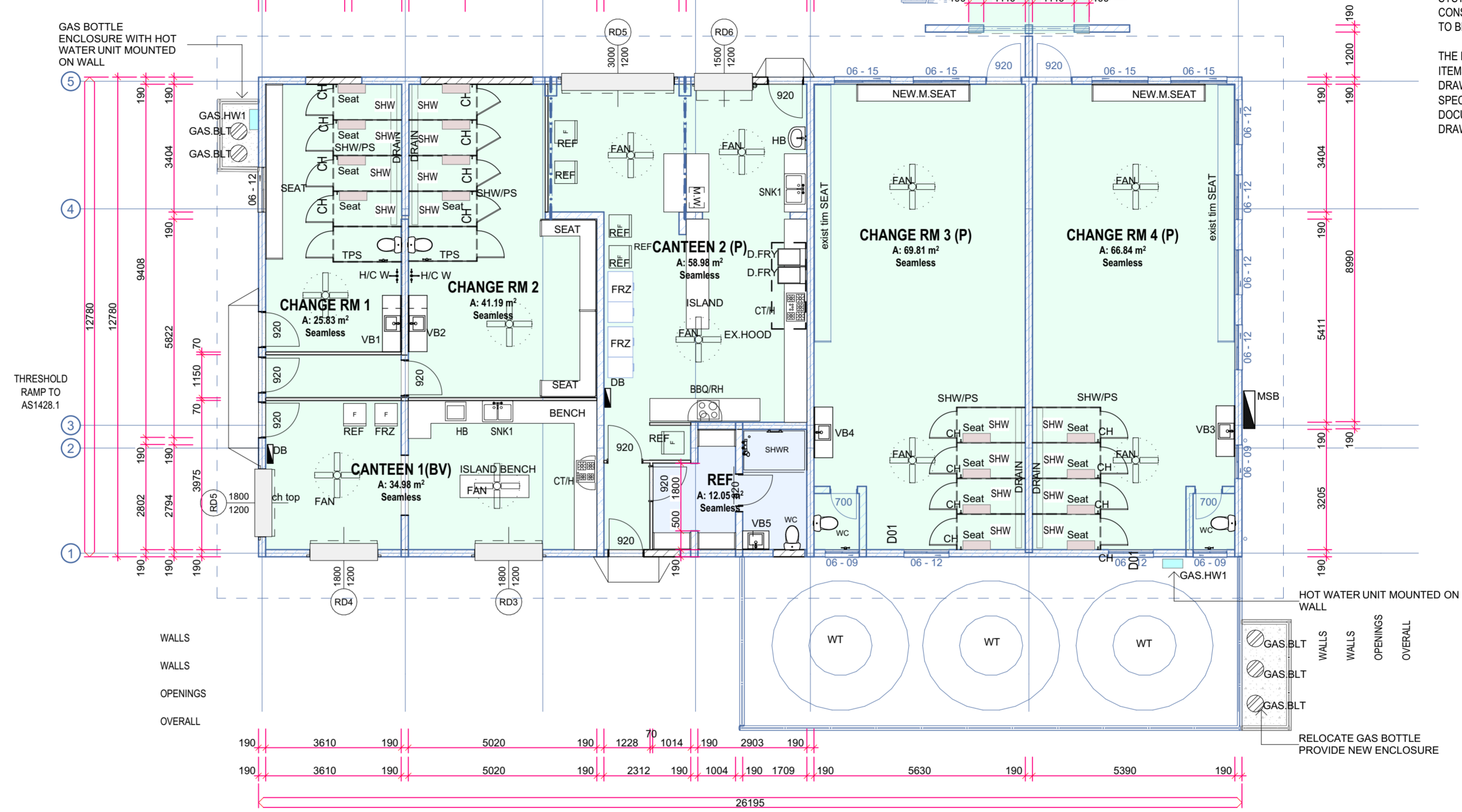
Drawing Title:
Building Plans
EXISTING & DEMOLITION

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/05

FIXTURES			
Element ID	Description	Quantity	3D Front Axonom...
BBQ		1	
BENCH		2	
bench top	S/S BENCH TOP	5	
BENCHES		1	
COOK TOP		2	
DB		2	
DRAIN	SHW WASTES	4	
EX.HOOD		1	
exist tim SEAT		2	
FAN		11	
GAS.BLT		5	
GAS.HW1		2	
HB		1	
ISLAND		3	
ISLAND BENCH		1	
MSB		1	
NEW.M.SEAT		2	
RH		1	
Seat		16	
SEAT		6	
SHW		2	
SHW/PS	SHOWER PARTIT...	4	
SINK		6	
TPS	TOILET PARTITION	2	
TRH		2	
VB1		1	
VB2		1	
VB3		1	
VB4		1	
VB5		1	
WC		5	
WT		3	

LEGEND

AC	AIR CONDITIONER
CPD	CUPBOARD
C.TILES	CERAMIC TILES
DP	DOWNPIPE
HB	HAND BASIN
MSB	MAIN SWITCH BOARD
MV	MECHANICAL VENT
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TR	TOWEL RAIL
TRH	TOILER ROLL HOLDER
WC	TOILET SUITE
VB	VANITY BASIN
D1	DOOR NUMBER 1
W8	WINDOW NUMBER 8



GENERAL

ITEMS TO BE SPECIFIED OR EQUAL APPROVED. WHERE ANY ITEM IS SPECIFIED DIFFERENTLY, OR AN ALTERNATIVE GIVEN, THE HIGHER QUALITY PRODUCT IS DEEMED TO APPLY.

ALL CONSTRUCTION SHALL BE GENERALLY IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA, QUEENSLAND BUILDING ACT AND DISABILITY (ACCESS TO PREMISES- BUILDINGS) STANDARD 2010 REFERRED TO AND SHALL BE THE CURRENT EDITION AT TIME OF BUILDING APPROVAL CERTIFICATION.

CHECK ALL DIMENSIONS AND SETOUTS ON-SITE PRIOR TO CONSTRUCTION AND NOTIFY PROPRIETOR OF ANY CONCERNS.

WHERE AN ITEM IS NOTED, IT IS ASSUMED THE BUILDER SHALL ALLOW FOR ITS CONNECTION TO THE BUILDING SYSTEMS, REGARDLESS IF SHOWN OTHERWISE ON CONSULTANT DRAWINGS (I.E. A FIELD INLET SHOWN IS TO BE CONNECTED TO THE SW SYSTEM).

THE BUILDER ACCEPTS TO SUPPLY AND INSTALL ALL ITEMS NOTED ON THE ARCHITECTURAL & CONSULTANT DRAWINGS. NOT ALL TRADE SPECIFIC DETAIL MAY BE SPECIFIED IN THE ONE PARTICULAR CONSULTANT DOCUMENTS & MAY BE SPREAD OVER SEVERAL DRAWINGS.

4 PROPOSED GROUND FLOOR PLAN
Scale 1:100

FLOOR AREA	
NAME	Measured Area
CANTEEN 1(BV)	34.98
CANTEEN 2 (P)	58.98
CHANGE RM 1	25.83
CHANGE RM 2	41.19
CHANGE RM 3 (P)	69.81
CHANGE RM 4 (P)	66.84
REF	12.05
TOTAL	309.68 m²

The builder shall check and verify all dimensions on site
Not to be used for construction, until issued as such.
IF IN DOUBT CHECK

A	21/08/2024	TENDER
REV ID	Transmittal Set Date	DESCRIPTION

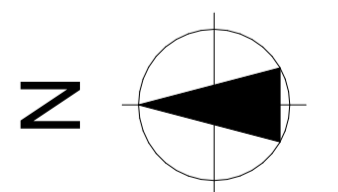
Mailing Address
262 Grubb St
Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400

OBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial

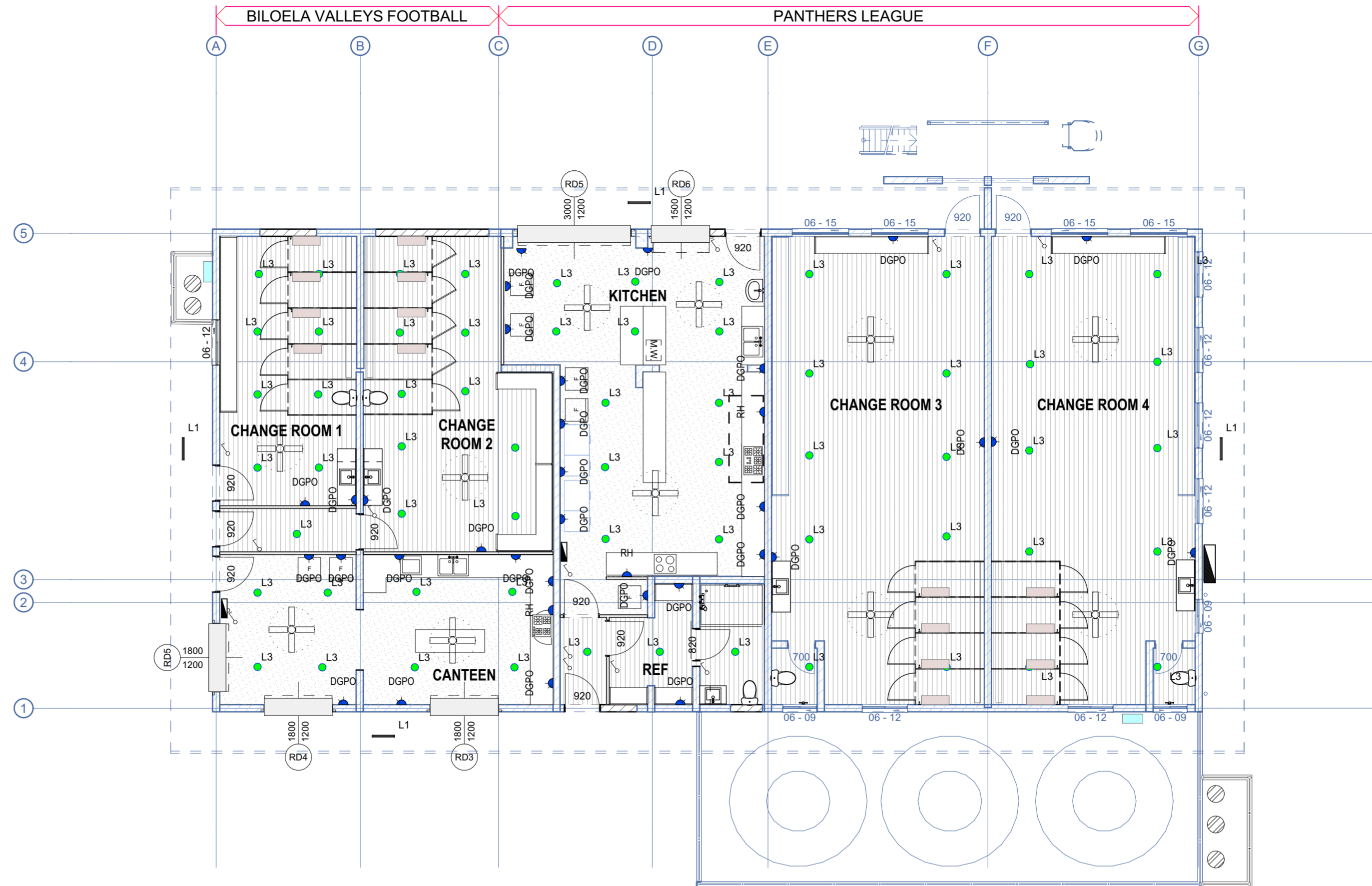
Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Proposed Ground Floor Plan

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/06



LEGEND	
AC	AIR CONDITIONER
CPD	CUPBOARD
C.TILES	CERAMIC TILES
DH	DOUBLE HUNG WINDOW
DP	DOWNSPIPE
DR	CLOTHES DRYER
DW	DISHWASHER
HB	HAND BASIN
MSB	MAIN SWITCH BOARD
PTY	SLIDE OUT PANTRY
MV	MECHANICAL VENT
RD	GARAGE DOOR
REF	REFRIDGERATOR
RH	RANGE HOOD
SA	SMOKE ALARM
SD	SLIDING GLASS DOOR
SHW	SHOWER
SSS	STAINLESS STEEL SINK
SW	SLIDING WINDOW
SIAC	SPLIT AIR CONDITIONER
TR	TOWEL RAIL
TRH	TOILER ROLL HOLDER
WC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN
VB	VANITY BASIN
VYL	VINYL FLOOR FINISH
D1	DOOR NUMBER 1
W8	WINDOW NUMBER 8



ELECTRICAL LAYOUT

Scale 1:100

ELECTRICAL				
Element ID	2D Plan Preview	Custom text 1	Quantity	3D Axonometry
FREEZER			1	
GPO	DGPO 		38	
L1			4	
L3			68	
RH	RH 		1	
SINK			13	

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Mailing Address
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Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400



Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Electrical Layouts

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/14

DEMOLITION NOTES

1. PROTECT EXISTING BUILDING, EXTERNAL WALLS, ROOF, SOFFITS, AND FLOOR SLABS, AND FOOTPATHS FROM CONSTRUCTION DAMAGE AND DUST FOR THE DURATION OF THE DEMOLITION AND CONSTRUCTION PERIOD. USE A COMBINATION OF SAFETY BARRICADES, HESSIAN AND DROP SHEETS TO PROTECT THE EXISTING SCHOOL BUILDINGS FROM MOVEMENT OF CONSTRUCTION EQUIPMENT, DUST AND DAMAGE
2. CAP, ISOLATE AND SAFELY TERMINATE ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
3. MAKE GOOD ALL EXISTING SURFACES WHERE DISTURBED BY THE DEMOLITION / NEW WORKS. MAKE GOOD (INCL. TOUCH UP & PAINT) ALL CEILINGS, WALLS, CORNICES & SKIRTINGS WHERE DISTURBED TO MATCH EXISTING BY DEMOLITION WORK AND NEW WORKS.
4. MAINTAIN EXISTING SERVICES (POWER, LIGHTING, DATA, A/C, WATER, DRAINAGE, FIRE DETECTION, ELECTRONIC SECURITY) TO NON-RENOVATED PARTS OF EXISTING BUILDING. I.E EXIT LIGHTING FOR THE DURATION OF THE CONSTRUCTION PERIOD. ADVISE THE Banana Shire Council IN ADVANCE OF ANY PLANNED DISRUPTION TO EXISTING SERVICES.

EXTINGUISHERS

PROVIDE FIRE EXTINGUISHERS APPROPRIATE TO THE LOCATION IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE SECT. E1.6 AND AS 2444.

MECHANICAL VENTILATION

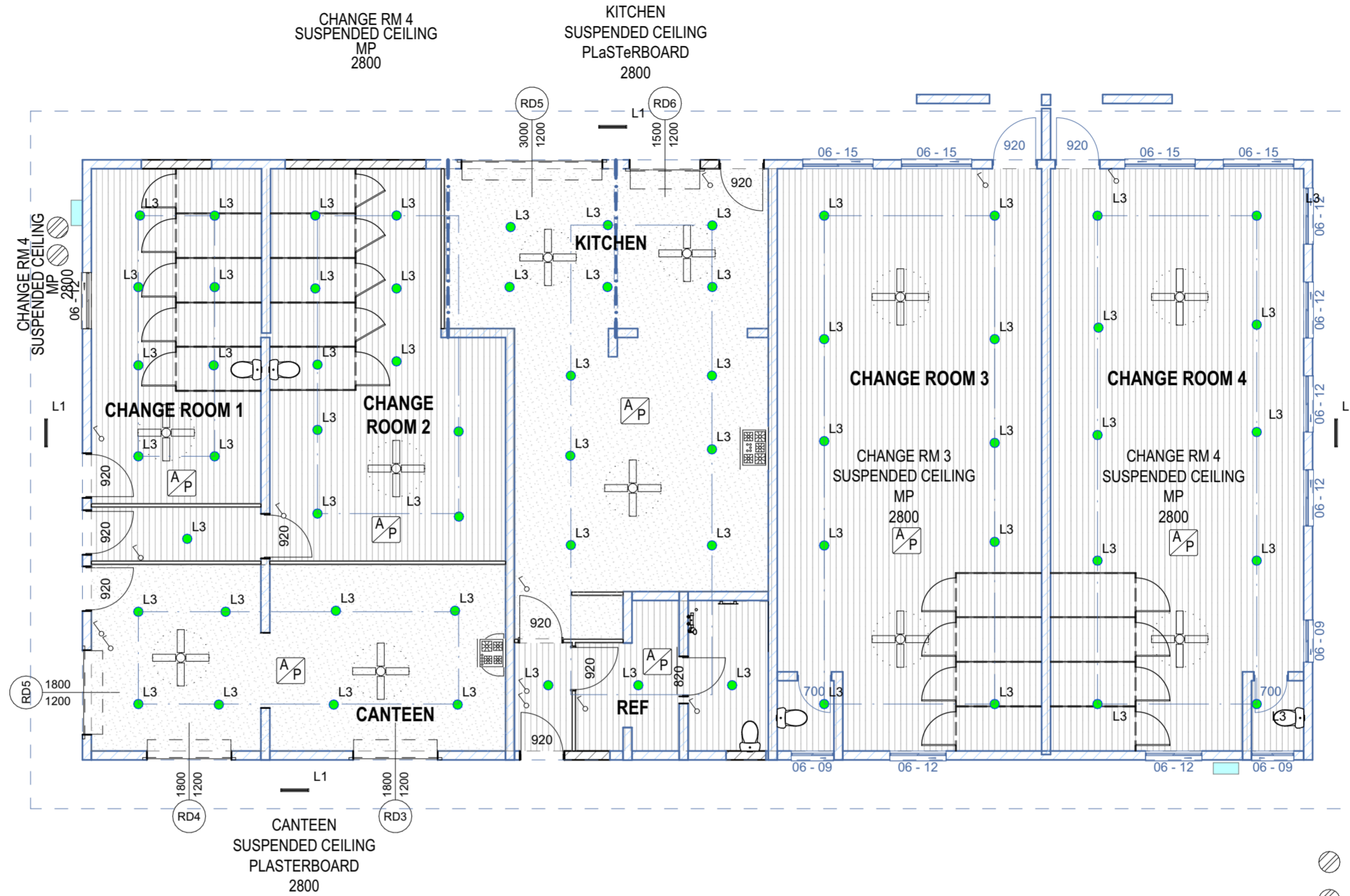
PROVIDE A MECHANICAL VENTILATION SYSTEM TO AREAS GENERALLY AND A SEPARATE SYSTEM TO ALL AMENITIES, SECTION F4.5 OF THE NATIONAL CONSTRUCTION CODE AND AS 1668.2 & AS/NZ 3666.1. IN ACCORDANCE WITH MECHANICAL ENGINEER'S DRAWINGS. PROVIDE SOUND AND FIRE RATED ACCESS PANELS IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE REQUIREMENTS. DUCTS/RISERS SHALL BE IN ACCORDANCE WITH BCA SECT. C3.12, C3.13, C3.15.

PLASTERBOARD

PLASTERBOARD CEILINGS AND WALL LININGS SHALL BE INSTALLED IN ACCORDANCE WITH AS 2785 AND THE MANUFACTURER'S SPECIFICATIONS AND DETAILS. SUSPENDED CEILING SYSTEM SHALL BE A PROPRIETARY SYSTEM SUCH AS THE 'RONDO' KEY-LOCK SYSTEM AND ALL PLASTERBOARD ON EXTERNAL BLOCK WALLS SHALL BE INSTALLED ON A PROPRIETARY STEEL FURRING CHANNEL SYSTEM.

LEGEND

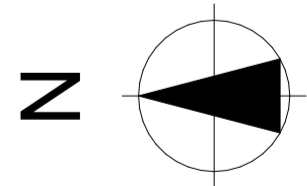
- AC AIR CONDITIONER
 - AP 600 X 600 ACCESS PANEL
 - CH2700 CEILING HEIGHT 2700MM
 - DP DOWNPIPE
 - FC FIBRE CEMENT SHEETING
 - L1 LIGHT FIXTURE NO 1
 - MSB MAIN SWITCH BOARD
 - MV MECHANICAL VENT
 - PB PLASTERBOARD
 - RD GARAGE DOOR
 - RH RANGEHOOD
 - SA SMOKE ALARM
 - SW SLIDING WINDOW
-
- D1 DOOR NUMBER 1
 - W8 WINDOW NUMBER 8



4 PROPOSED RCP (1)
Scale 1:100

ELECTRICAL

Element ID	2D Plan Preview	Custom text 1	Quantity	3D Axonometry
FREEZER			1	
GPO	DGPO		38	
L1	—		4	
L3	⏏		68	
RH	RH		1	
SINK	⌂		13	



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IF IN DOUBT CHECK

A	21/08/2024	TENDER
REV ID	Transmittal Set Date	DESCRIPTION

Mailing Address
262 Grubb St
Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400

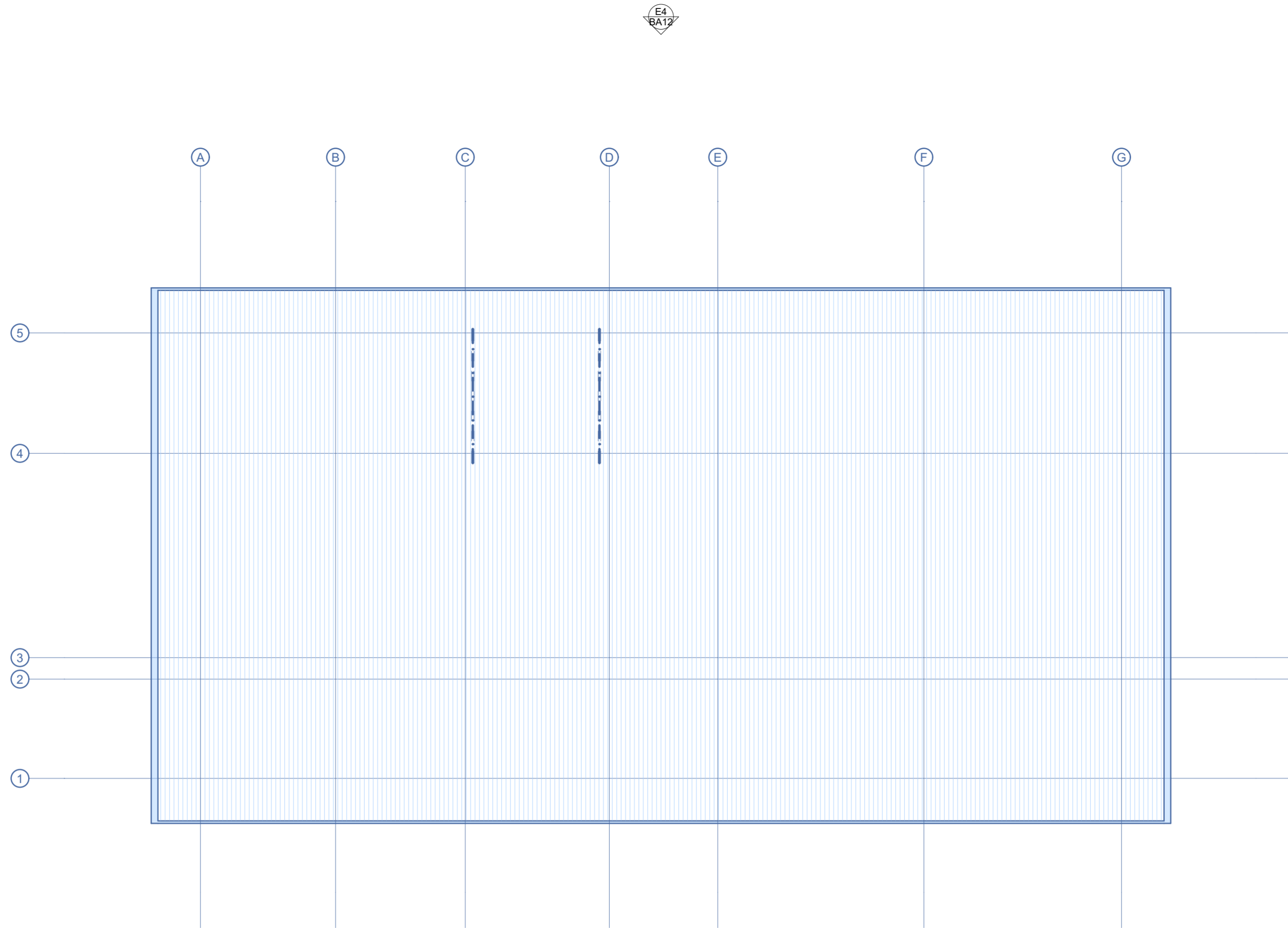
QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial



Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715

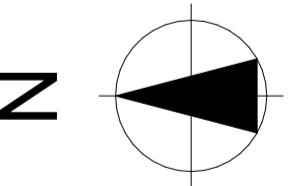
Drawing Title:
Building Plans
Ceiling Plan

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/08



4

Roof Plan
Scale 1:100



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IF IN DOUBT CHECK

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Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400

QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial



Client
Banana Shire Council
Project Name
**PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715**

Drawing Title:
**Building Plans
Roof Plan**

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/09

WORK PLACE HEALTH AND SAFETY.

A COMPLETE SITE AND DESIGN SAFETY REVIEW AND ACTION PLAN MUST BE UNDERTAKEN AS PART OF ANY WORKS INCORPORATED IN THE BUILDING OUTCOME.

ENGINEERING

TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS AND SPECIFICATIONS. REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL DESIGN, WALL BRACING. PLUMBING, DRAINAGE, WATER RETICULATION TO HYDRAULIC CONSULTANT'S DETAILS.

SEWER CONNECTION

ALL PLUMBING POINTS TO BE CONNECTED TO SEWER AS PER COUNCIL REQUIREMENTS AND IN ACCORDANCE WITH THE HYDRAULIC ENGINEER'S DRAWINGS.

STORM WATER

ALL STORM WATER SHALL DISCHARGE AS PER COUNCIL REQUIREMENTS AND IN ACCORDANCE WITH THE HYDRAULIC ENGINEER'S DRAWINGS.

CONSTRUCTION

BUILDER TO ALLOW TO CLEAR AND PREPARE CONSTRUCTION ZONE SUITABLE FOR DETAILED WORKS.

ALL INTERNAL ABUTTING FLOOR FINISHES TO FINISH FLUSH (UNO)

CONCEAL ALL PLUMBING IN WALLS & VOIDS TO BE NEAT & CONSUME MINIMUM SPACE IN CUPBOARDS.

WATERPROOFING OF INTERNAL WET AREAS SHALL COMPLY WITH AS3740. PROVIDE A PROPRIETARY LIQUID OR SHEET MEMBRANE SYSTEM AND FALL TO WASTES.

STEELWORK

ALL STRUCTURAL STEEL WORK, FITTINGS & FIXTURES SHALL BE HOT DIPPED GALVANISED. ALL OTHER STEELWORK, FITTING & FIXTURES SHALL BE PASSIVE GALVANISED.

TIMBER

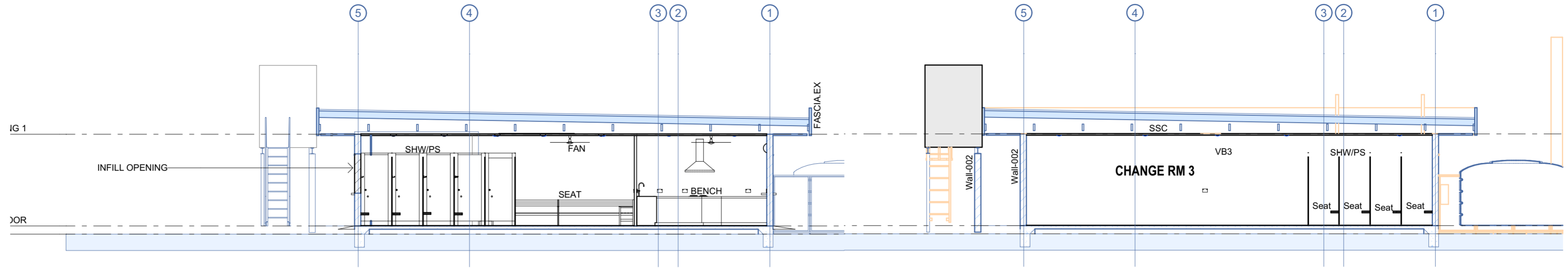
ALL TIMBER TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, STANDARDS AUSTRALIA AS1684.1-1999 AND THE STRUCTURAL ENGINEER'S DRAWINGS.

AS CONSTRUCTED RECORDS

BUILDER TO PROVIDE 'AS CONSTRUCTED' DRAWINGS OF ALL SERVICES, SETOUTS & LEVELS TO COUNCIL & OWNER.

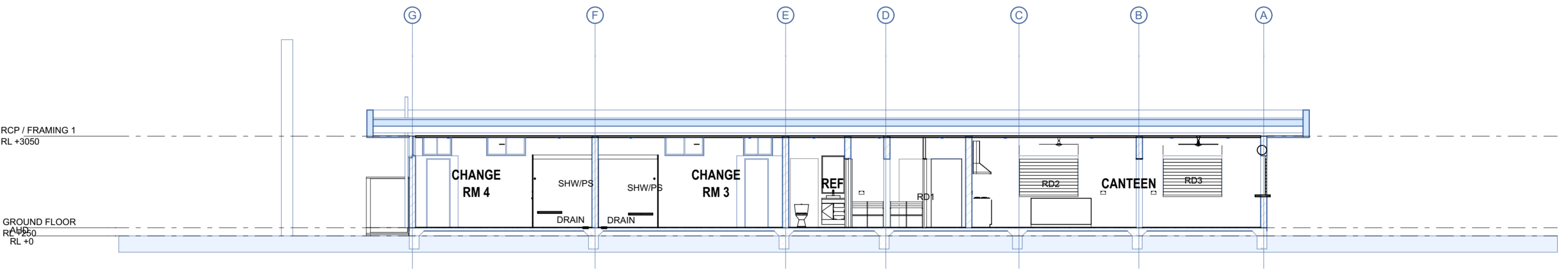
EXIT SIGNS & EMERGENCY LIGHTING

PROVIDE ILLUMINATED EXIT SIGNS & LIGHTING TO COMPLY WITH SECT. E4.2 & E4.7 OF THE BCA AND AS2293 PART 1. IN ACCORDANCE WITH THE ELECTRICAL ENGINEER'S DRAWINGS.

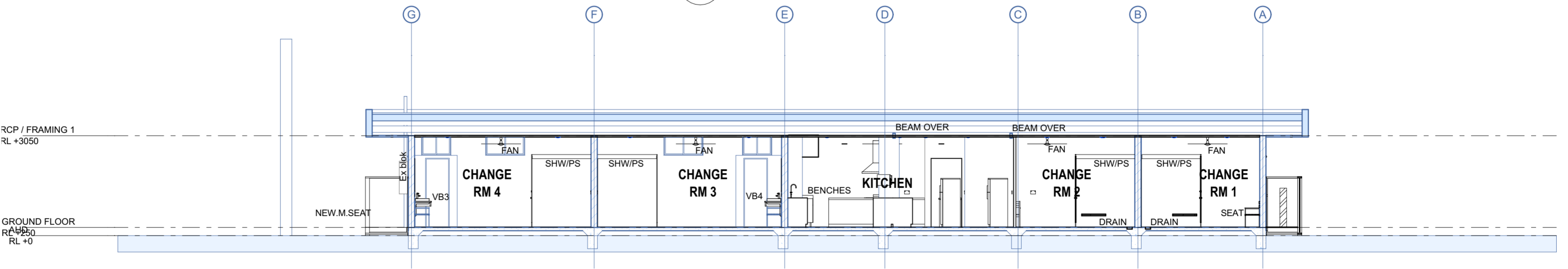


XX1 SECTION YY
Scale 1:100

XX SECTION YY
Scale 1:100



YY1 SECTION ZZ
Scale 1:100



YY SECTION ZZ
Scale 1:100

The builder shall check and verify all dimensions on site. Not to be used for construction, until issued as such. IF IN DOUBT CHECK

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A	21/08/2024	TENDER

Mailing Address
262 Grubb St
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e: andrew@amfbuildingdesign.com.au
m 0423 375 400

QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial

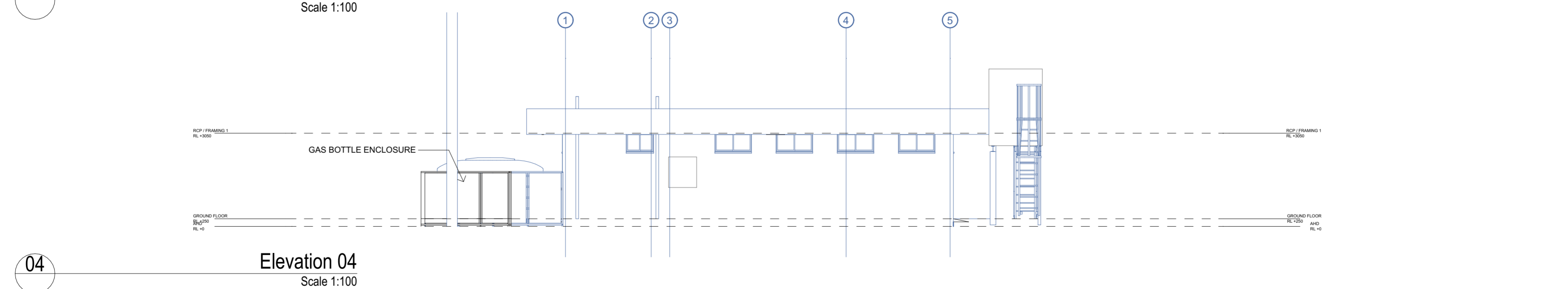
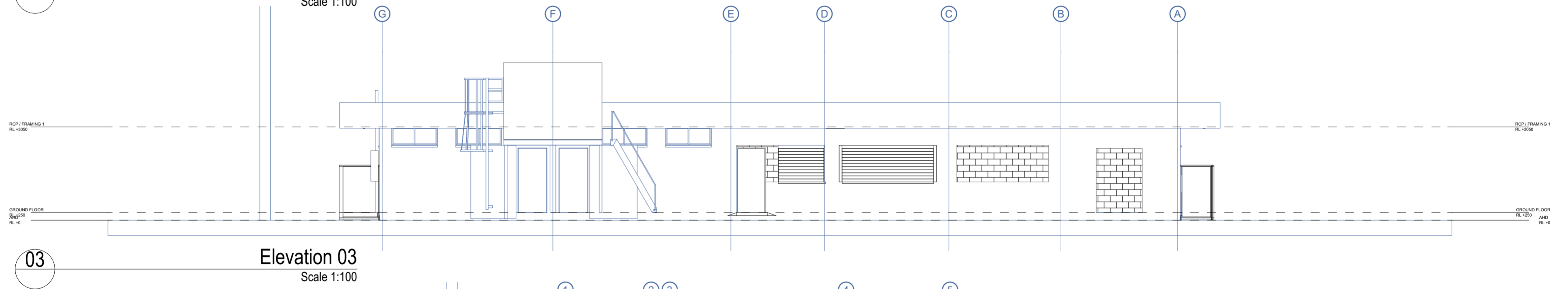
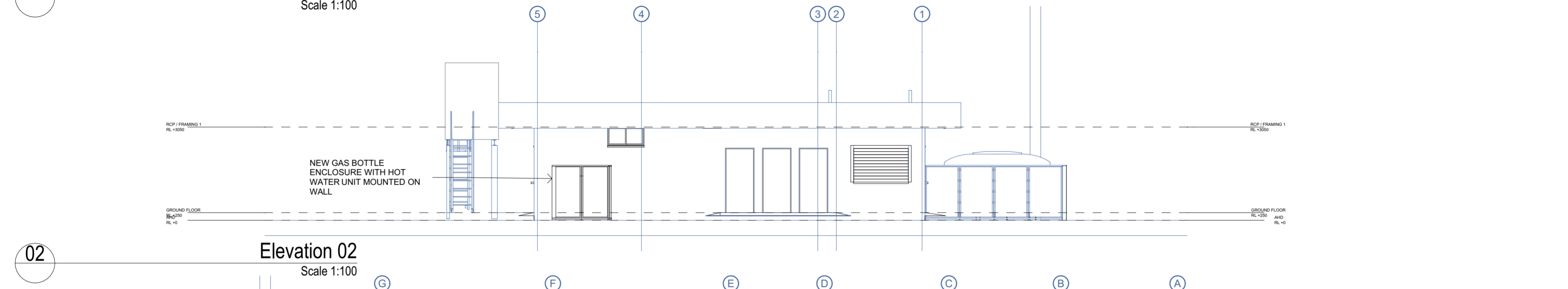
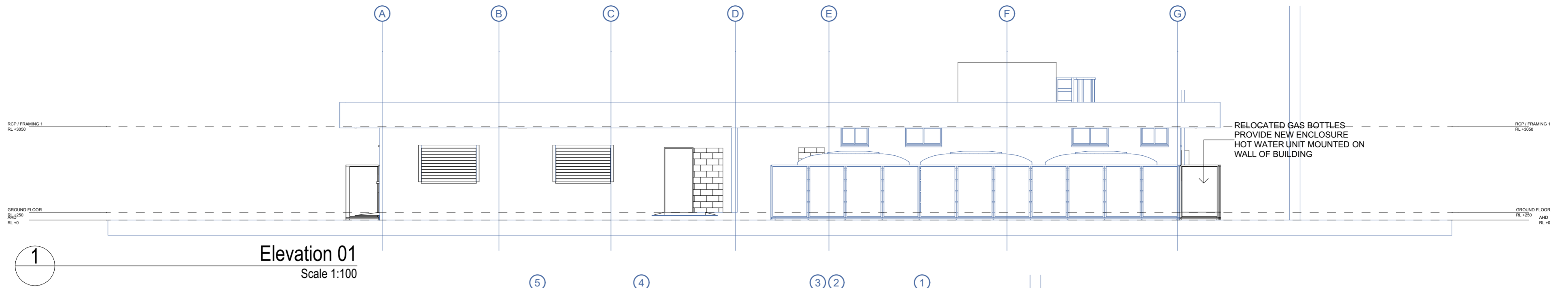
Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Typical Section 1/2

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/07

LEGEND

AC	AIR CONDITIONER
CH	CLOTHES HOOK
CR	CURTAIN RAIL
C.TILES	CERAMIC TILES
GR	GRAB RAIL
HB	HAND BASIN
HD	HAND DRYER
PC	PLASTERBOARD CORNICE
MR	MIRROR
MV	MECHANICAL VENT
SD	SOAP DISPENSER
SHW	SHOWER HEAD/TAPWARE
SNK	STAINLESS STEEL SINK
SS	SHOWER SEAT
SW	SLIDING WINDOW
TR	TOWEL RAIL
TRH	TOILER ROLL HOLDER
WC	TOILET SUITE
VYL	VINYL FLOOR FINISH
D1	DOOR NUMBER 1
W8	WINDOW NUMBER 8



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IF IN DOUBT CHECK

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262 Grubb St
Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400

QBCC No 1068756
ABN 22143 527 198
all projects residential,commercial,industrial



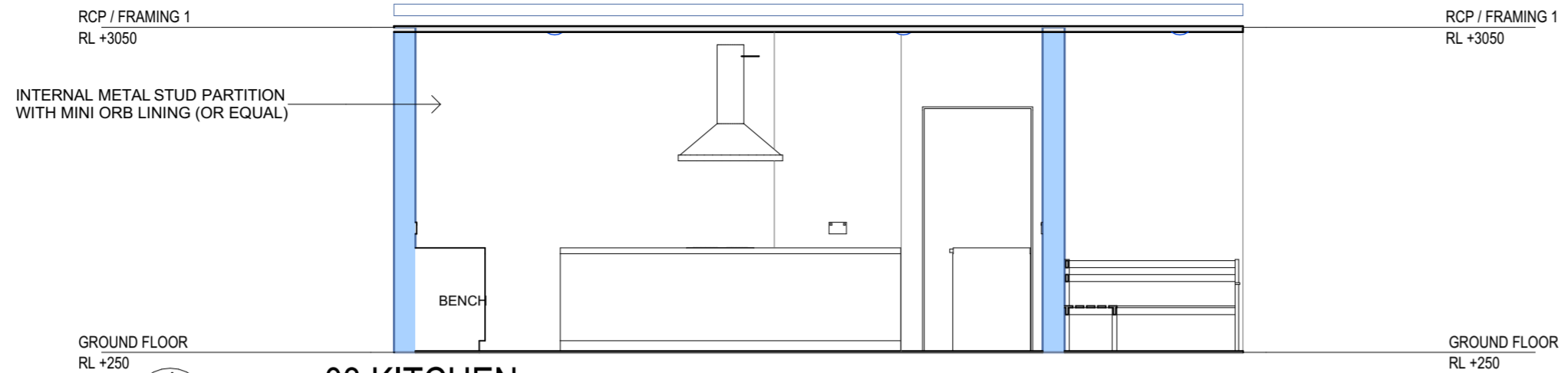
Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Exterior Elevations

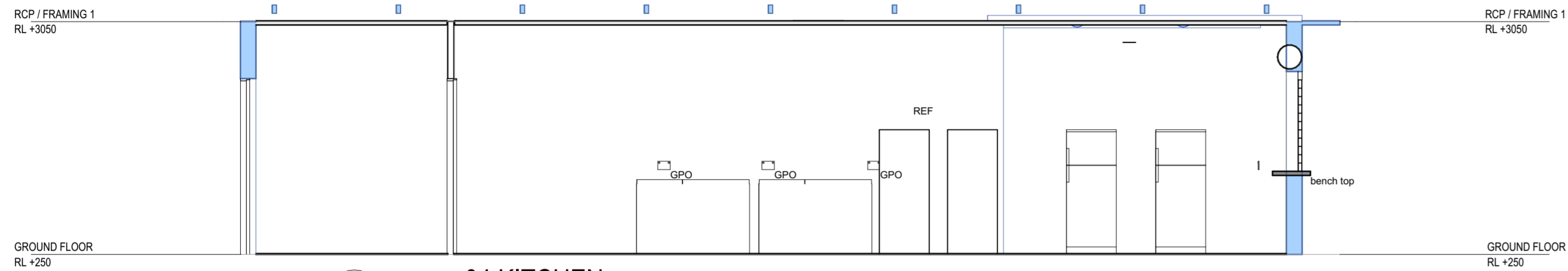
Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/10

LEGEND

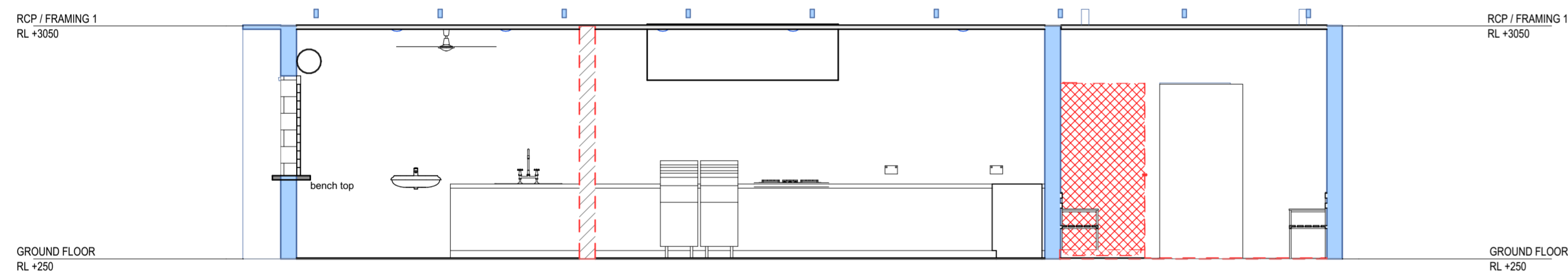
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- CH CLOTHES HOOK
- CR CURTAIN RAIL
- C.TILES CERAMIC TILES
- GR GRAB RAIL
- HB HAND BASIN
- HD HAND DRYER
- PC PLASTERBOARD CORNICE
- MR MIRROR
- MV MECHANICAL VENT
- SD SOAP DISPENSER
- SHW SHOWER HEAD/TAPWARE
- SNK STAINLESS STEEL SINK
- SS SHOWER SEAT
- SW SLIDING WINDOW
- TR TOWEL RAIL
- TRH TOILER ROLL HOLDER
- WC TOILET SUITE
- VYL VINYL FLOOR FINISH
- D1 DOOR NUMBER 1
- W8 WINDOW NUMBER 8



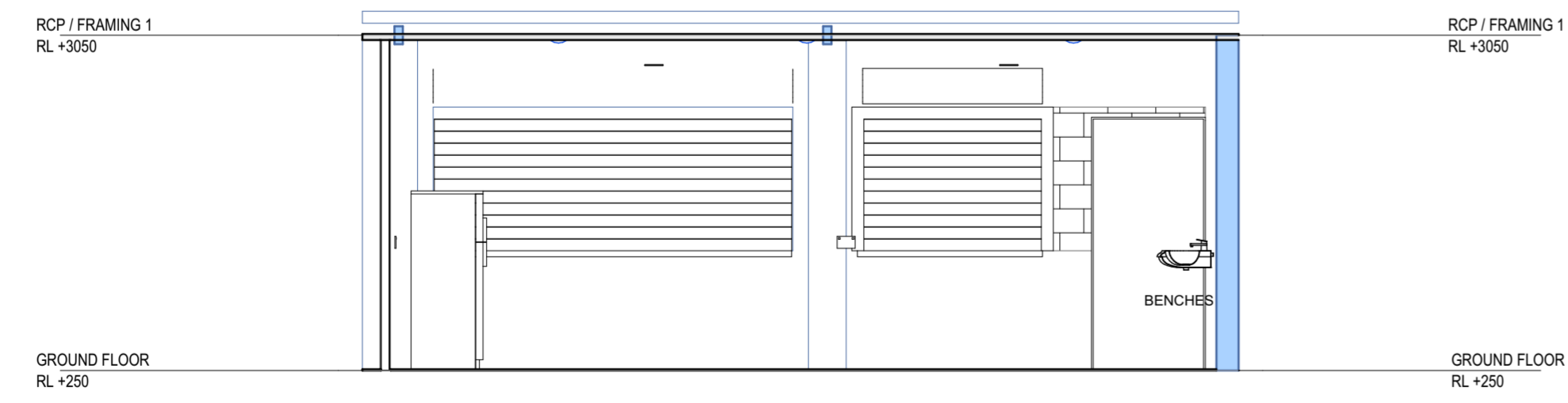
03 KITCHEN
Scale 1:50
#LayID



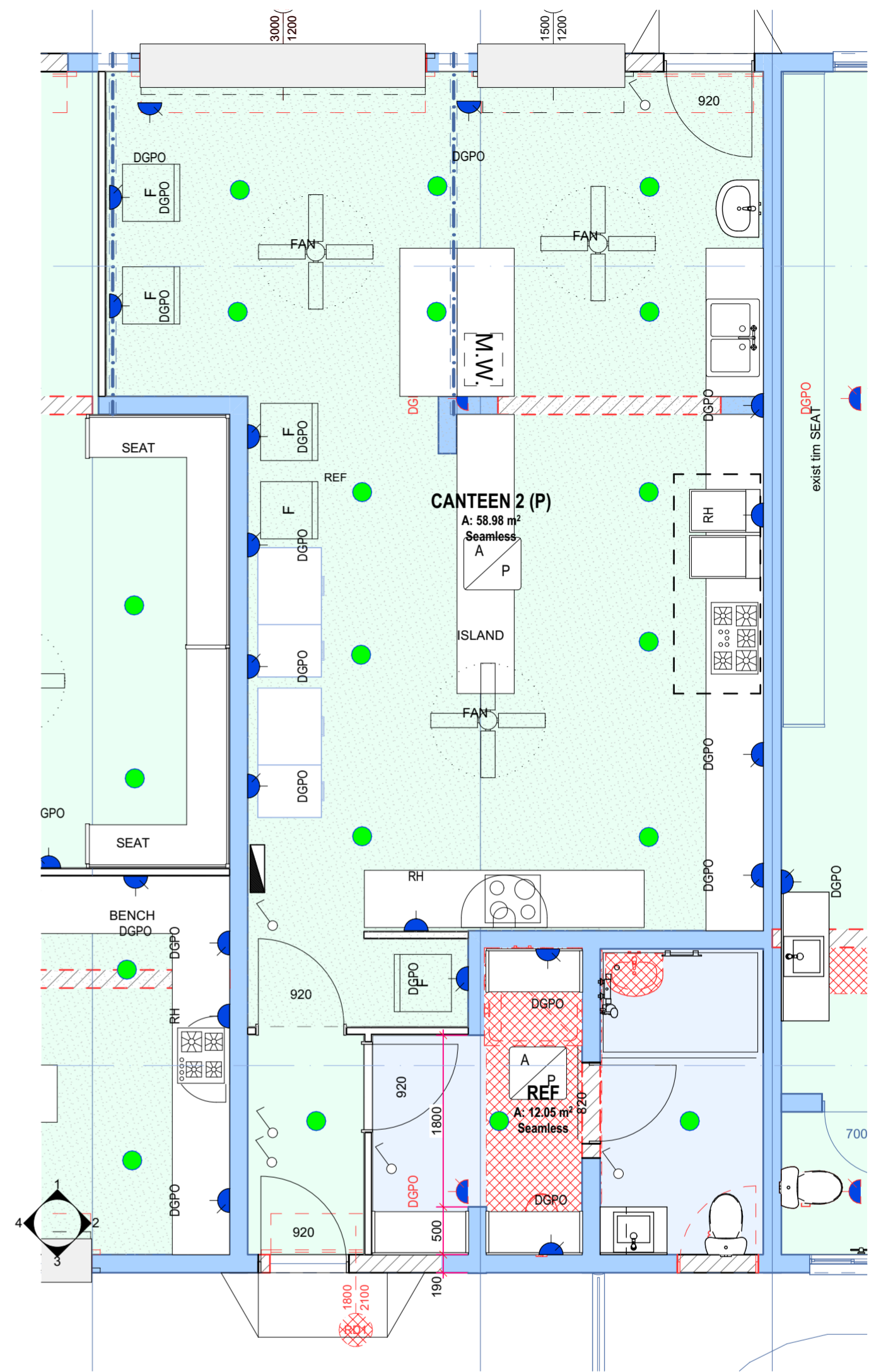
04 KITCHEN
Scale 1:50
#LayID



02 KITCHEN
Scale 1:50
#LayID



01 KITCHEN
Scale 1:50
#LayID



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A	21/08/2024	TENDER

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e: andrew@amfbuildingdesign.com.au
m 0423 375 400

OBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial

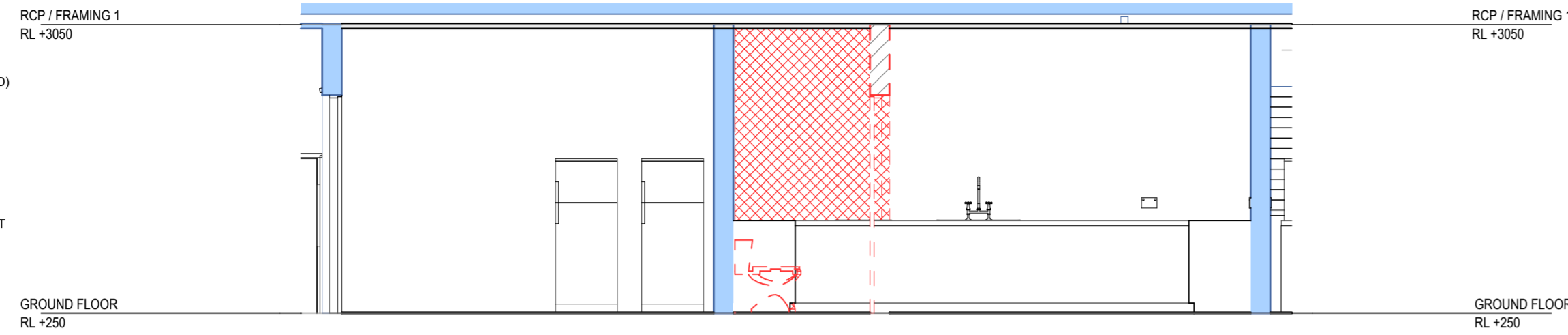


Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB RAINBOW
BILOLEA QLD 4715

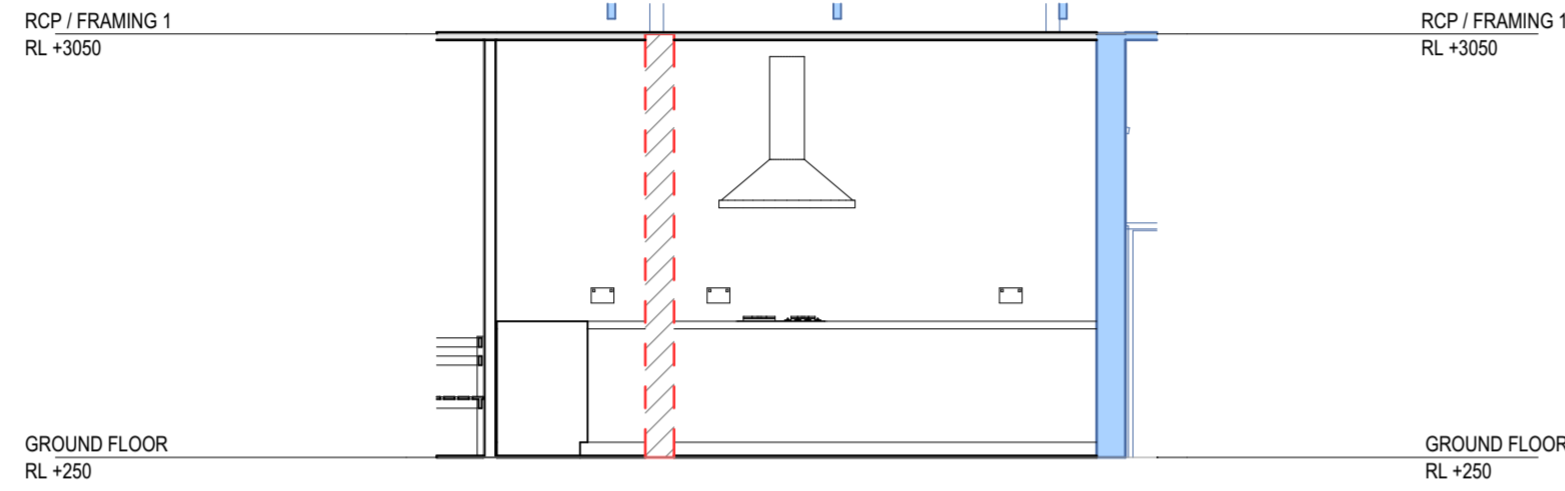
Drawing Title:
Building Plans
Kitchen Int Elevations

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/11

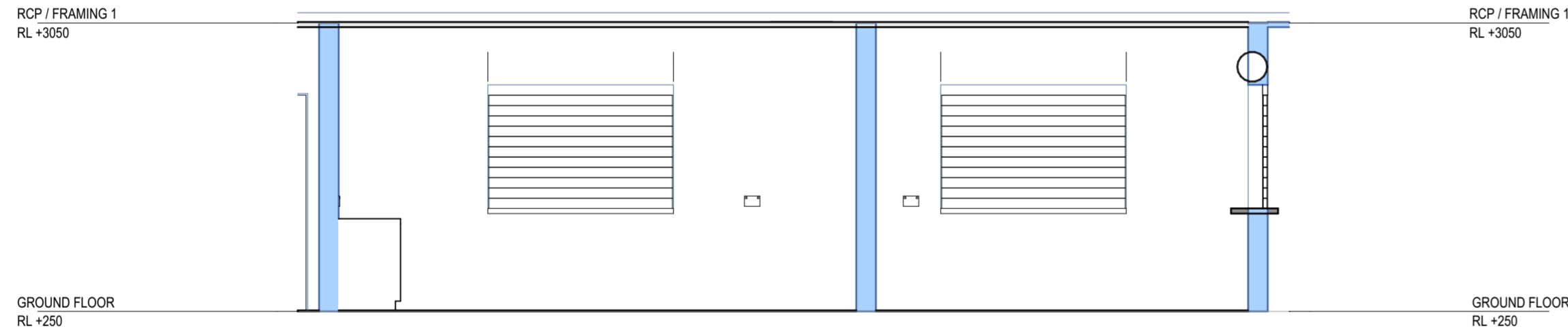
- LEGEND**
- AC AIR CONDITIONER
 - CPD CUPBOARD
 - C.TILES CERAMIC TILES
 - MSB MAIN SWITCH BOARD
 - MW MICROWAVE
 - O/H OVERHEAD (SHELVES OR CPD)
 - PC PLASTERBOARD CORNICE
 - PTY SLIDE OUT PANTRY
 - MV MECHANICAL VENT
 - REF FRIDGE
 - SB SPLASH BACK
 - SNK STAINLESS STEEL SINK
 - SW SLIDING WINDOW
 - S/AC SPLIT AIR CONDITIONER
 - VYL VINYL FLOOR FINISH
 - ZIP ZIP BOILER AND CHILLER UNIT
 - D1 DOOR NUMBER 1
 - W8 WINDOW NUMBER 8



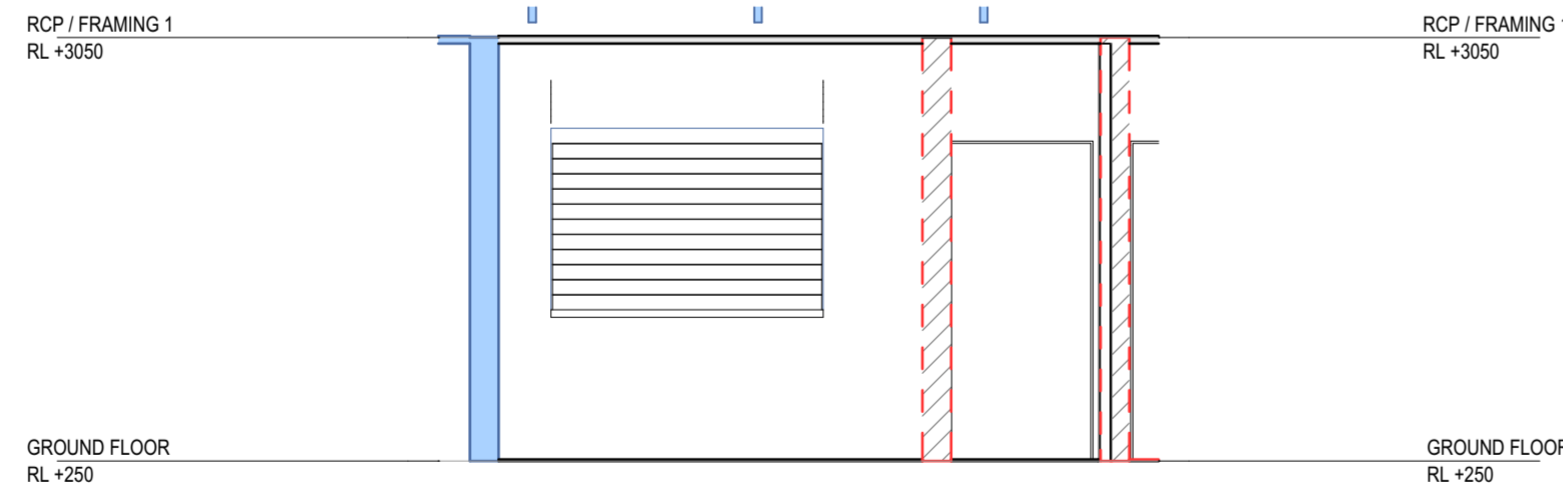
1 CANTEEN
Scale 1:50



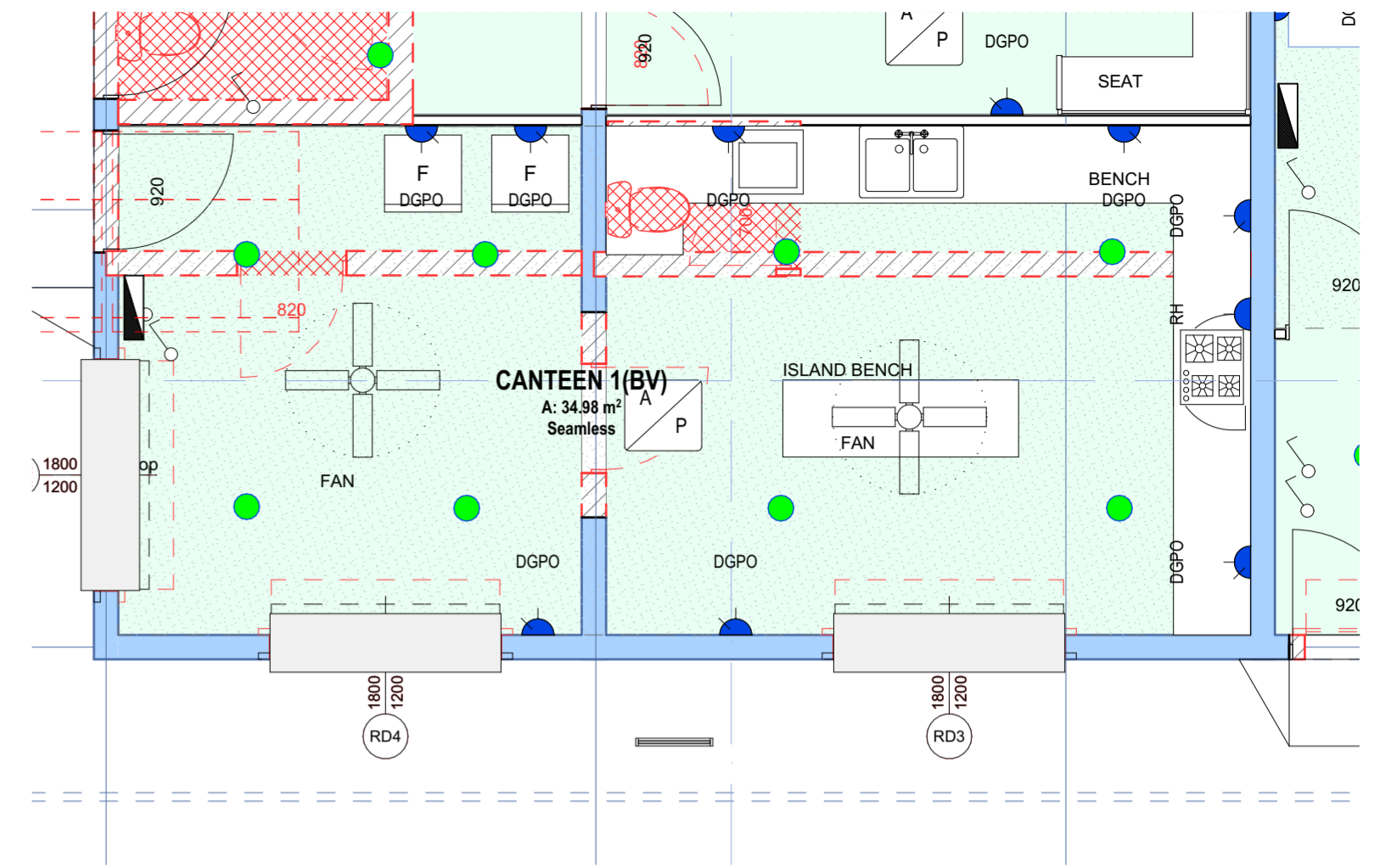
2 CANTEEN
Scale 1:50



2 CANTEEN
Scale 1:50



2 CANTEEN
Scale 1:50



3. FITOUT 1 : 50
Scale 1:50

The builder shall check and verify all dimensions on site
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IF IN DOUBT CHECK

REV ID	Transmittal Set Date	DESCRIPTION
A	21/08/2024	TENDER

Mailing Address
262 Grubb St
Koongal QLD 4701
e: andrew@amfbuildingdesign.com.au
m 0423 375 400

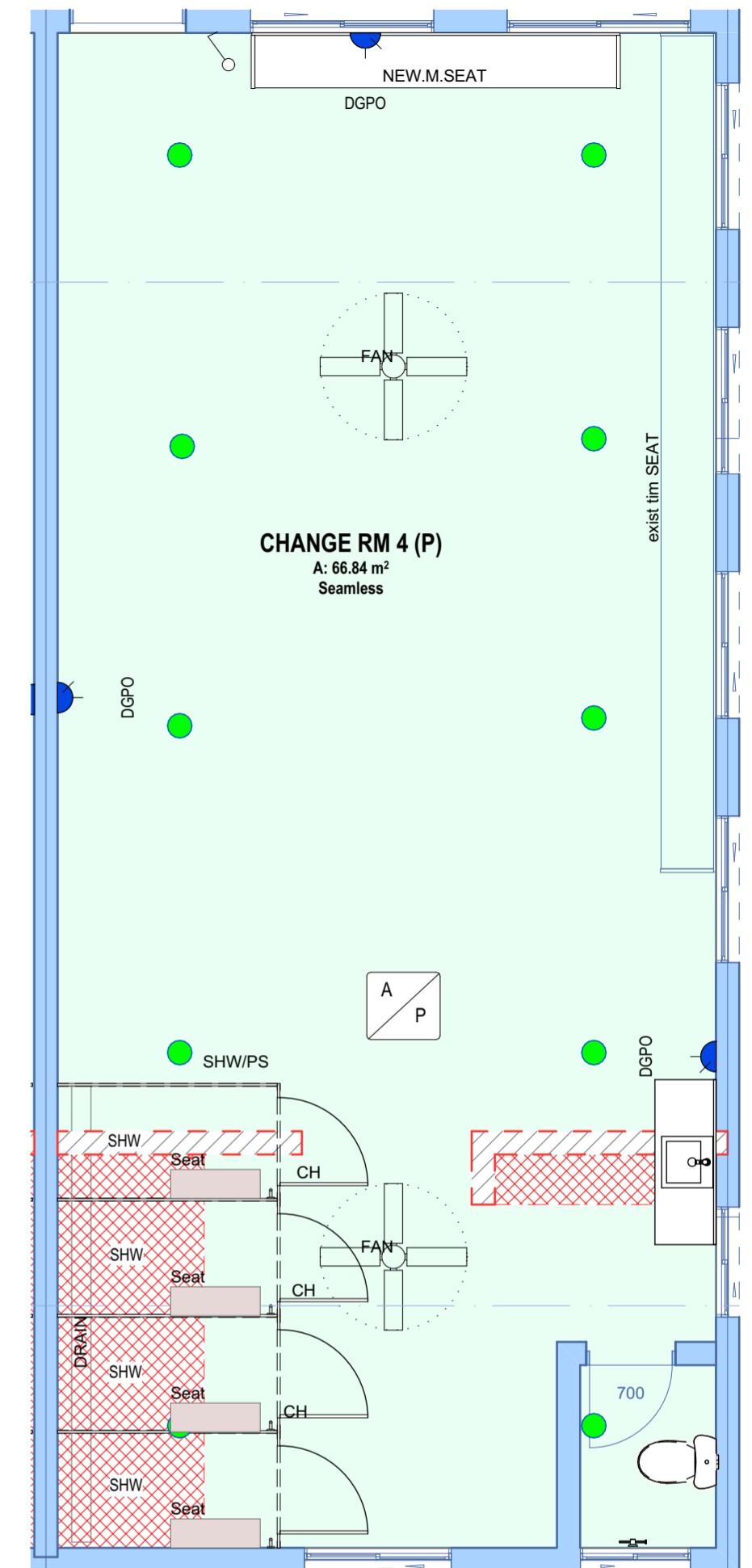
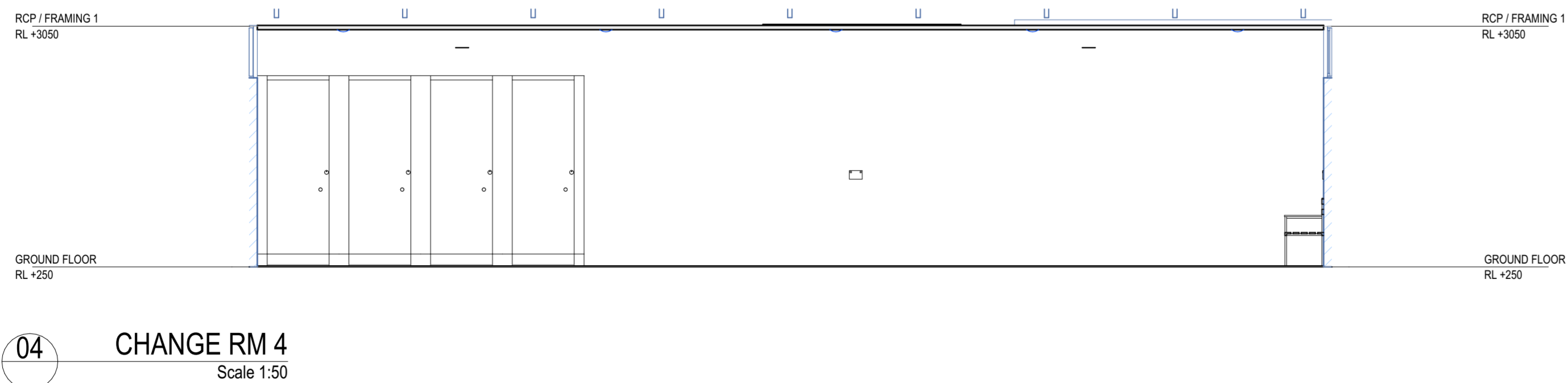
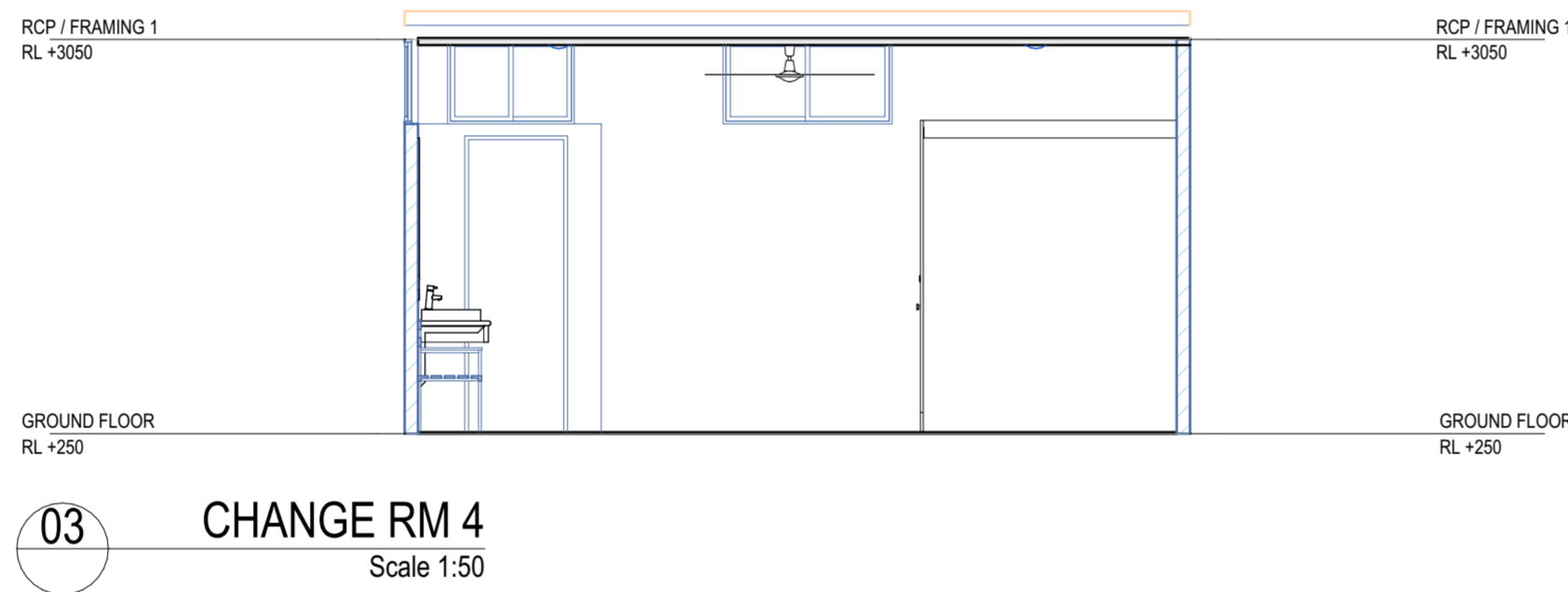
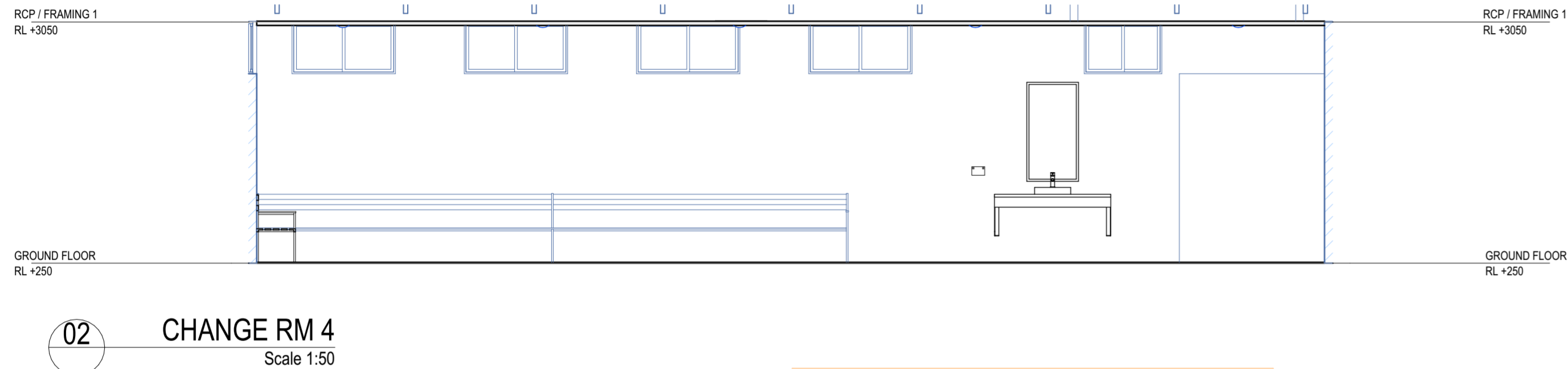
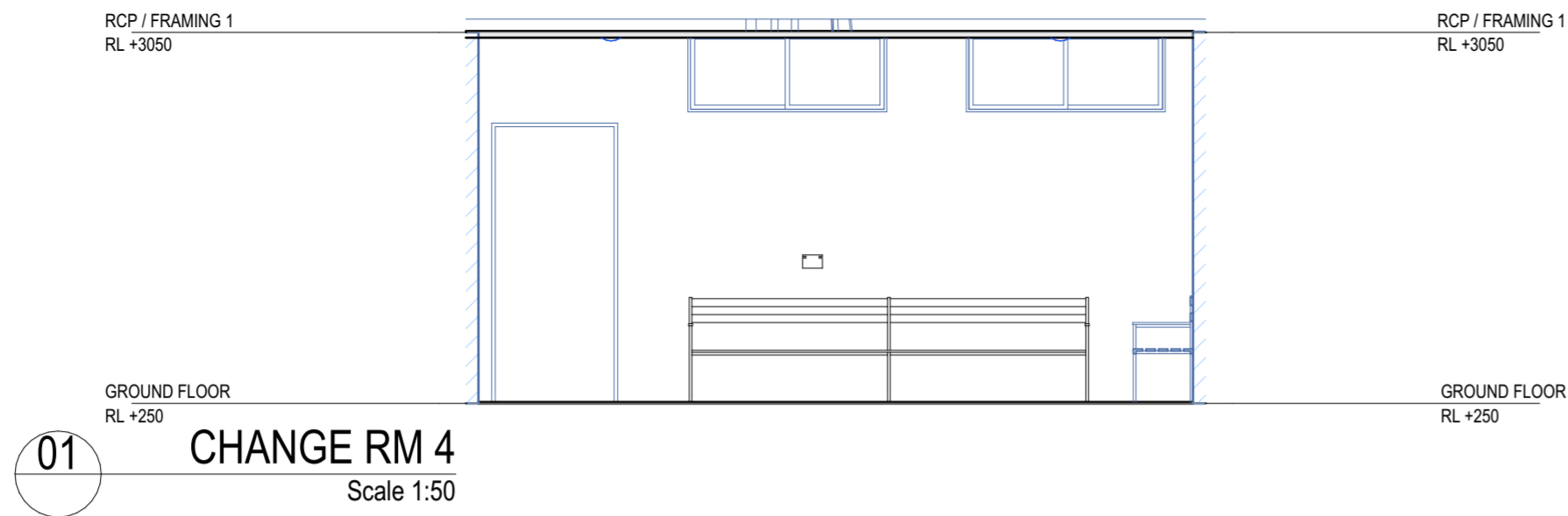
QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial



Client
Banana Shire Council
Project Name
PROPOSED REFURBISHMENTS SPORTS CLUB RAINBOW
BILOLEA QLD 4715

Drawing Title:
Building Plans
Canteen Internal Elevations

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/12



3. FITOUT 1 : 50
Scale 1:50

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m 0423 375 400



QBCC No 1068756
ABN 22143 527 198
all projects
residential,commercial,industrial

Client
Banana Shire Council
Project Name
**PROPOSED REFURBISHMENTS SPORTS CLUB
RAINBOW
BILOLEA QLD 4715**

Drawing Title:
**Building Plans
CHANGE ROOMS**

Scale: As shown	Date: JULY 24
Status: CD	Checked By:
Project No: AMF 24584	Drawing No.: BA/13